

Meeting Date: April 10, 2025

MEMORANDUM

DATE: March 24, 2025
TO: Zoning Board of Appeals
FROM: Planning Division
SUBJECT: Report of Findings
Case No. 25-04-10 – 2511 Marais Ave. (25-09-327-026)

1. Requested Variances

- (a) Alter/expand a non-conforming structure
- (b) Waive 1 story of the maximum allowable porch height of 1 story
- (c) Waive 4 ft. of the maximum allowable 7 ft. extension of an unenclosed front porch and steps into the minimum required front yard setback

2. Purpose

To allow construction of a second story balcony along the east front façade of the dwelling.

3. Aerial Photograph





4. **Variances to Chapter 770 Zoning**

ARTICLE IV Zone Regulations & General Provisions

§ 770-21(C). Application of Zoning District Regulations / Application of Setback Regulations

(5) Exceptions

(c) Unenclosed porches and steps may extend from the face of the building into a required front yard setback a distance not more than seven feet, and shall not exceed one story in height.

ARTICLE X. NONCONFORMING USES, STRUCTURES AND LOTS

§770-112 Intent: Certain existing lots, structures and uses of lots and structures were lawful before this chapter was adopted, but have become nonconforming under the terms of this chapter and its amendments. It is the intent of this chapter to permit such nonconformities to remain under certain conditions until they are discontinued or removed, but not to encourage their survival or, where discontinuance or removal is not feasible, to gradually upgrade such nonconformities to conforming status. Nonconformities shall not be enlarged, expanded, or extended, except as provided herein, and shall not be used as grounds for adding other structures and uses of lots and structures which are prohibited. Nonconformities are declared by this chapter to be incompatible with the structures and uses permitted in the various zones.

§770-115 Nonconforming structures: Where a lawful structure exists at the effective date of adoption or amendment of this chapter that could not be built under the terms of this chapter by reason of restrictions on area, lot coverage, height, yards, or other characteristics of the structure or its location on the lot, such structure may be continued so long as it remains otherwise lawful, subject to the following provisions:

- A. No such structure may be enlarged or altered in a way which increases its nonconformity, unless approved by the Zoning Administrator through the submission of a site plan, and provided the following remain true:
 - (1) The existing character of the area is maintained.
 - (2) Additional parking spaces are not required in order to comply with the adopted standards of this chapter.
 - (3) The size is comparable to adjacent uses.
 - (4) The construction materials and resulting style are compatible with the existing building.

- (5) The expansion will not have a detrimental effect on neighboring properties.
- B. Should such structure be moved for any reason for any distance whatever, it shall thereafter conform to the regulations for the zone in which it is located after it is moved.
- C. The Zoning Administrator may allow a nonconforming detached single-family dwelling to expand, provided the expansion complies with Zoning Ordinance provisions.

5. **Petitioner & Owner**

Aaron A. Stadler, petitioner & owner

6. **Findings**

The subject property is located on the west side of Marais Ave., just north of Vinsetta Blvd. It is located within the Vinsetta Boulevard Overlay District. The site is improved with a single-family dwelling with a front-entry attached garage / accessory structure.

The petitioner proposes to construct a second-story balcony, accessed from the dwelling which wraps around the east front façade of the dwelling. The proposed second-story balcony will be directly above the existing front entry attached garage / accessory structure. The city's zoning ordinance limits an open, covered porch to no greater than one story in height. The planning division has applied this language to include second story balconies along the front façade of a dwelling. **Therefore, the petitioner is seeking a variance to waive 1 story of the maximum allowable porch height of 1 story.**

The city's Zoning Ordinance permits unenclosed porches & steps to extend into a required front yard setback no more than 7 ft. The site requires a front yard setback, measured to the exterior of the nearest point of living space, of no less than 46.5 ft. along Marais Ave. The existing dwelling maintains a nonconforming 40 ft. east front yard setback. The proposed second story balcony will extend 4.5 ft. from the front façade of the dwelling. At its nearest point, the balcony will measure 35.5 ft. from the front property line. By ordinance standards, it may be no closer than 39.5 ft. from the front property line. Any alteration, addition or expansion of a non-conforming structure must result in compliance with zoning ordinance provisions, including setbacks. **Thus, the petitioner is seeking a variance to alter/expand a non-conforming structure in a non-conforming manner. The petitioner is also seeking a variance to waive 4 ft. of the maximum allowable 7 ft. extension of an unenclosed front porch and steps into the minimum required front yard setback.**

7. **Decision**

Per § 770-124 (E) of the Zoning Ordinance: Upon an appeal, the Board is authorized to grant a variance from the strict provisions of this chapter, whereby unique, extraordinary or exceptional conditions of such property, the strict application of the regulations enacted would result in peculiar or exceptional practical difficulties to, or exceptional undue hardship upon the owner of such property, provided such relief may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of this chapter. In granting a variance, the Board may attach thereto such conditions regarding the location, character and other features of the proposed uses as it may deem reasonable in furtherance of the purpose of this chapter. Further, in granting a variance, the Board shall state the grounds upon which it justifies the granting of a variance as outline below. When granting any variance, the Board must ensure that the spirit of this chapter is observed, public safety secured, and natural resources protected. The Board shall determine that the variance approval, either as proposed by the applicant or as otherwise determined by the Board based upon the record, is the minimum relief necessary in order to achieve substantial justice. The Board shall not have the power to consider an appeal of any decision concerning a special land use or planned unit development, unless specifically authorized to do so by the Planning Commission.

Nonuse variances. The applicant must present evidence to show that if this chapter is applied strictly, practical difficulties will result to the applicant and that all four of the following requirements are met:

- a) That this chapter's restrictions unreasonably prevent the owner from using the property for a permitted purpose;
- b) That the variance would do substantial justice to the applicant as well as to other property owners in the district, and a lesser relaxation than that requested would not give substantial relief to the owner of the property or be more consistent with justice to other property owners;
- c) That the plight of the landowner is due to the unique circumstances of the property; and
- d) That the alleged hardship has not been created by any person presently having an interest in the property.

Nonuse Variances require 5 affirmative votes for approval.

cc: Aaron A. Stadler, 2511 Marais Ave., Royal Oak, MI 48073







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General Notes:

- ALL WORK TO COMPLY WITH 2015 MICHIGAN RESIDENTIAL BUILDING CODE AND THE 2015 MICHIGAN UNIFORM ENERGY CODE.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
- CONTRACTOR TO REVIEW ENTIRE SET OF CONSTRUCTION DOCUMENTS, AND NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
- CONTRACTOR IS TO FOLLOW THE DESIGN INTENT OF THESE CONTRACT DOCUMENTS AND SPECIFICATIONS. ANY DEVIATION FROM THE DESIGN INTENT OF THESE DOCUMENTS MUST BE APPROVED AND AUTHORIZED BY THE DESIGNER IN WRITING PRIOR TO MAKING A CHANGE.
- WHERE THE CONTRACTOR IS NOT CLEAR OF THE DESIGN INTENT, OR DETAILS AND DESIGNER FOR WRITTEN CLARIFICATION.

Contractor's Pre-Bid Notification:

- ALL EXISTING ITEMS IN THE CONTRACT DRAWINGS HAVE BEEN TAKEN FROM THE OWNER'S LIMITED RECORD DRAWINGS AND CERTAIN FIELD OBSERVATIONS.
- THE PRIME CONTRACTOR AND ALL RELATED SUB-CONTRACTORS SHALL VISIT THE SITE AND COMPLETELY UNDERSTAND THE CONDITIONS UNDER WHICH THE WORK MUST BE PERFORMED.
- IF A DEPARTURE FROM THE DESIGN INTENT OF THE DOCUMENTS IS REQUIRED DUE TO THE ACTUAL FIELD CONDITIONS OBSERVED BY THE CONTRACTOR, THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING FOR RESOLUTION PRIOR TO SUBMITTING FINAL BID OR ENTERING INTO A CONTRACT FOR CONSTRUCTION.
- FAILURE TO PROVIDE THE ARCHITECT WITH NOTIFICATION SHALL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK TO MEET THE DESIGN INTENT WITH NO ADDITIONAL COST BEING INCURRED BY THE OWNER OR DESIGNER.

Wood:

- ALL FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE NO.2 OR BETTER.
- ALL STRUCTURAL MEMBERS SHALL BE FASTENED PER TABLE R602.3 (I) OF THE 2015 MICHIGAN RESIDENTIAL BUILDING CODE, UNLESS NOTED OTHERWISE ON THE DRAWINGS OR DETAILS.
- JOISTS SHALL BE SUPPORTED LATERALLY AT THE ENDS BY FULL DEPTH SOLID BLOCKING NOT LESS THAN 2 INCHES NOMINAL IN THICKNESS, OR BY ATTACHMENT TO A HEADER, BAND, OR RIM JOIST, OR TO AN ADJOINING STUD; OR OTHER MEANS OF LATERAL SUPPORT TO PREVENT ROTATION.
- JOISTS EXCEEDING A NOMINAL 2X12 SHALL BE SUPPORTED LATERALLY BY SOLID BLOCKING, DIAGONAL BRIDGINS, OR A CONTINUOUS 1X3 STRIP NAILED ACROSS THE BOTTOM OF JOISTS PERPENDICULAR TO JOISTS AT INTERVALS NOT EXCEEDING 8 FEET.
- FLOOR SHEATHING SHALL BE APA RATED 3/4 INCH EXTERIOR GRADE T46 PLYWOOD, EXPOSURE 1. SECURE ALL FLOOR SHEATHING TO JOISTS OR TRUSSES WITH ARDOX NAILS AND CONSTRUCTION ADHESIVE.
- ALL WOOD PLATES INSTALLED ON CONCRETE OR MASONRY BLOCK SHALL BE PRESERVATIVELY TREATED AGAINST DECAY AND INSECT INFESTATION.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY BLOCK SHALL BE PRESERVATIVELY TREATED.
- WALL SHEATHING SHALL BE APA RATED 1/2" EXPOSURE-1 EXTERIOR GRADE SHEATHING.
- ROOF SHEATHING SHALL BE APA RATED 1/2" EXPOSURE-1 EXTERIOR GRADE SHEATHING, UNLESS NOTED OTHERWISE ON THE DRAWINGS OR DETAILS.
- INSTALL BLOCKING FOR ALL DOOR BUMPERS, TOWEL BARS, SHOWER RODS, TOILET TISSUE HOLDERS, SHELF SUPPORTS, RAILING, FANS, CABINETRY, ETC.
- DOUBLE FLOOR JOISTS BELOW INTERIOR WALL PARTITIONS, TYPICAL.
- AT EACH WALL OPENING, ADD ONE HALF THE TOTAL NUMBER OF STUDS DISPLACED TO EACH SIDE OF THE OPENING (FULL HEIGHT) AND ADD 2 GRIPPLE STUDS BELOW THE HEADER, UNLESS NOTED OTHERWISE.
- ALL ATTIC SPACES TO HAVE A MINIMUM INSULATED ACCESS PANEL 22 INCHES X 30 INCHES.
- PROVIDE AND INSTALL FLASHING ABOVE ALL EXTERIOR DOORS AND WINDOWS.
- INSTALL EXTERIOR SIDING MATERIALS WITH NON-RUSTING, NON STAINING FASTENERS.

Reinforcing Steel:

- CONTRACTOR SHALL PROVIDE AND INSTALL ALL REINFORCING STEEL AS SPECIFIED ON DRAWINGS. ALL REINFORCING BARS, DONELS, AND TIES SHALL CONFORM WITH ASTM-615 GRADE 60 REQUIREMENTS AND SHALL BE FREE OF RUST, DIRT AND MUD.
- ALL REINFORCING SHALL BE PLACED AND SECURELY TIED IN PLACE SUFFICIENTLY AHEAD OF PLACING CONCRETE TO ALLOW INSPECTION AND CORRECTION, IF NECESSARY, WITHOUT DELAYING THE CONCRETE PLACEMENT.
- EXTEND REINFORCING BARS A MINIMUM OF 30 INCHES AROUND ALL CORNERS AND LAP BARS AT ALL SPLICES A MINIMUM OF 30 INCHES.
- WELDING OF REINFORCING STEEL IS NOT ALLOWED.
- ALL WELDED METAL FABRIC SHALL CONFORM WITH ASTM A-185 AND BE POSITIONED AT THE MID HEIGHT OF SLABS, UNLESS NOTED OTHERWISE.

Masonry:

- ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH ACI 530 LATEST EDITION. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-40, GRADE N, TYPE 1 FOR HOLLOW MASONRY UNITS, AND ASTM C145, GRADE N, TYPE 1 FOR SOLID CONCRETE MASONRY UNITS.
- ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE M OR S, MINIMUM COMPRESSIVE STRENGTH FC = 1800 P.S.I. AT 28 DAYS.
- ALL CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM FRISM STRENGTH OF 1500 P.S.I.
- MORTAR SHALL BE TYPE S ABOVE GRADE, AND TYPE M BELOW GRADE.

General Structural Notes:

- REFER TO ENTIRE SET OF THESE CONSTRUCTION DOCUMENTS FOR ADDITIONAL STRUCTURAL FRAMING MEMBER SIZES AND NOTES.
- ALL COLUMNS TO BEAR ON SOLID FOUNDATION. PROVIDE SOLID BLOCKING TO FOUNDATION WALLS AS REQUIRED AT EACH COLUMN BEARING POINT.
- ALL PAIRED WINDOWS TO HAVE (2) STUDS BETWEEN WINDOW UNITS, UNLESS NOTED OTHERWISE.
- ALL STEEL LINTELS SUPPORTING MASONRY VENEER PER TABLE RT03.1.3.1 OF THE 2004 MICHIGAN RESIDENTIAL BUILDING CODE UNLESS NOTED OTHERWISE.
- ALL POINT LOADS FROM HEADERS NOT SHOWN TO BE PICKED UP WITH BEAMS ARE TO BEAR ON SOLID BLOCKING BETWEEN FLOOR JOISTS.
- ALL EXTERIOR WALL WALLS SHALL BE CONTINUOUSLY SHEATHED PER DETAILS THIS SHEET

Laminated Veneer Lumber Notes:

- ALL MULTIPLE PLY LVL BEAMS AND HEADERS TO BE ASSEMBLED PER MANUFACTURER'S SPECIFICATIONS FOR LOADING TYPES SHOWN. REFER TO MANUFACTURER'S LVL PRODUCT DESIGN MANUAL.
- ALL MULTIPLE PLY LVL BEAMS BEING SIDE LOADED TO BE CONSTRUCTED PER DETAILS THIS SHEET, UNLESS NOTED OTHERWISE.
- LVL MINIMUM PROPERTIES:
Fb = 2850 PSI
E = 2.0X10⁶ PSI
- PSL MINIMUM PROPERTIES:
E = 1.8X10⁶ PSI PARALLAM BY TRUSS JOIST OR EQUAL

Soil Bearing Capacity Evaluation:

A SOIL BEARING CAPACITY EVALUATION SHALL BE CONDUCTED BY A QUALIFIED GEOTECHNICAL FIRM UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, SPECIALIZING IN GEOTECHNICAL ENGINEERING. A REPORT SHALL BE GENERATED BY THE GEOTECHNICAL FIRM CONFIRMING A SOIL BEARING CAPACITY OF AT LEAST 2500 PSF FOR ALL AREAS WHERE NEW FOUNDATIONS ARE PROPOSED.

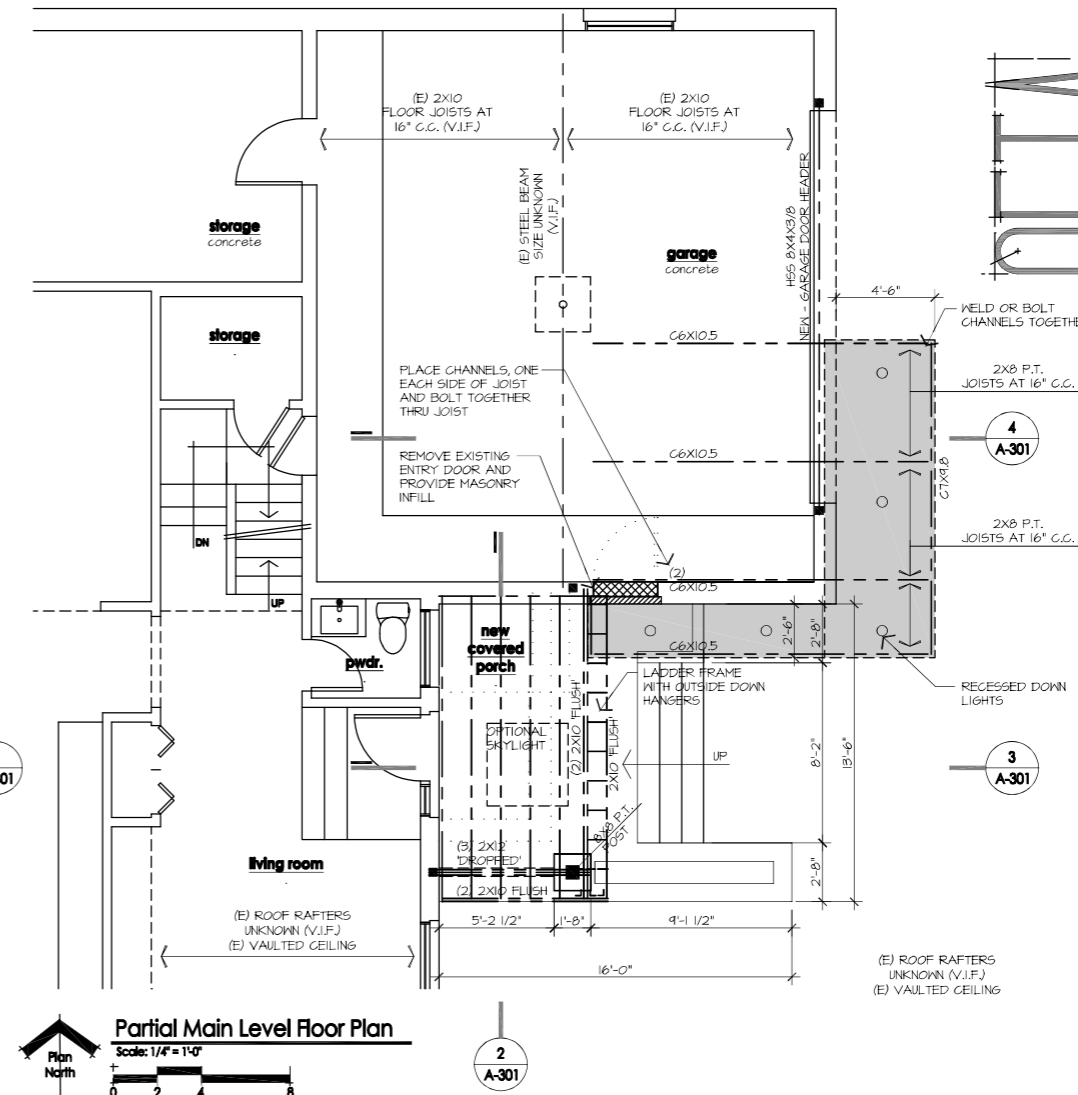
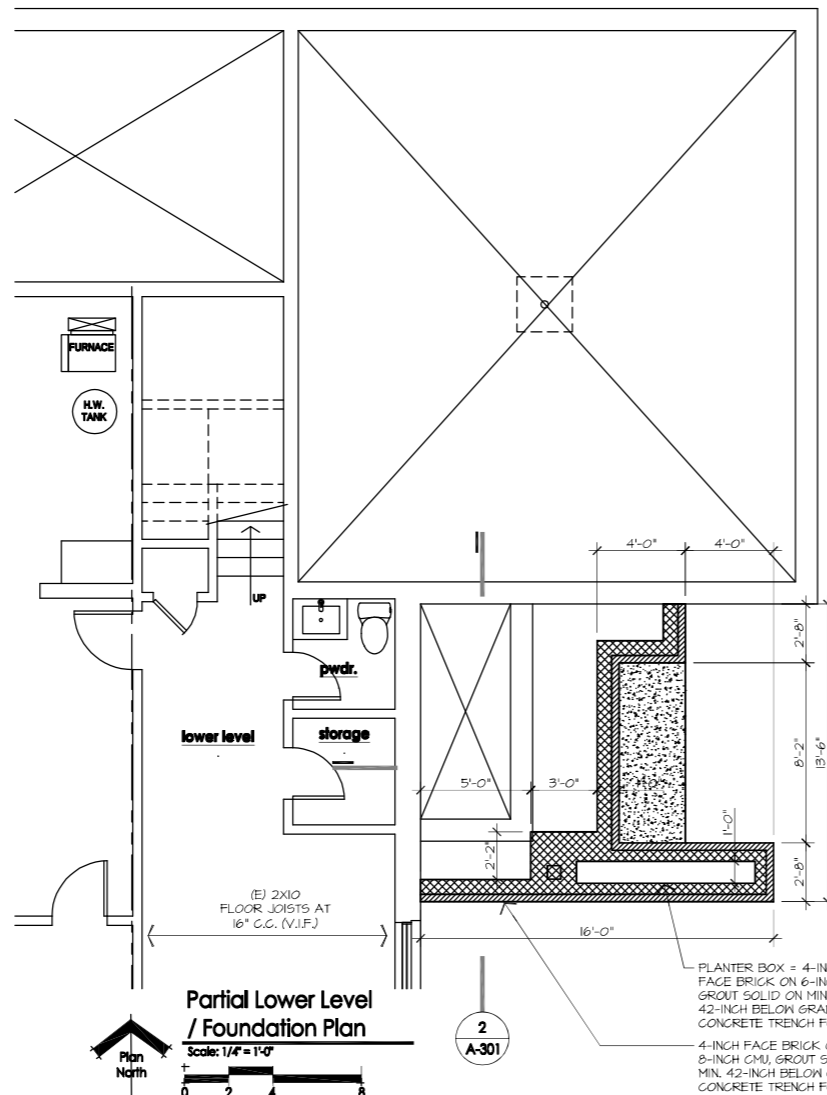
IF DETERMINED SOIL BEARING CAPACITY IS BELOW THE ALLOWABLE 2500 PSF, CONTRACTOR MUST CONTACT RESIDENTIAL DESIGNER AND STRUCTURAL ENGINEER IMMEDIATELY TO REDESIGN FOUNDATION BEARING SYSTEM.

Foundations and Concrete:

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", LATEST EDITION.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL. ALL EXTERIOR WALLS SHALL BE SUPPORTED ON CONTINUOUS SOLID FULLY GROUTED MASONRY OR CONCRETE FOOTINGS. CONTRACTOR TO TEST BEARING CAPACITY OF SOIL AT FOUR CORNERS OF BUILDING AND NOTIFY DESIGNER IF SOIL BEARING CAPACITY IS LESS THAN THAT SPECIFIED BY SOIL BEARING CAPACITY EVALUATION FOR REDESIGN OF FOUNDATION SYSTEM.
- MINIMUM DEPTH OF FOOTING/ FOUNDATIONS SHALL BE 42" BELOW FINISHED GRADE. EXCAVATION SHALL BE FREE OF STANDING WATER, ORGANIC MATERIAL, AND FROZEN SOIL. NEW FOOTING/ FOUNDATIONS TO BEAR ON VIRGIN SOIL.
- THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. CONTRACTOR SHALL MAINTAIN ACCURATE AND CORRECT CONFIGURATIONS, DIMENSIONS, AND ELEVATIONS OF THE FOUNDATION WORK TO FACILITATE STRUCTURAL MEMBERS, DOOR OPENINGS, AND BRICK LEDGERS, ETC.
- CONCRETE SHALL HAVE A MINIMUM OF 3000 P.S.I, 28 DAY COMPRESSIVE STRENGTH. EXTERIOR CONCRETE SLABS SHALL HAVE A MINIMUM OF 4000 P.S.I, 28 DAY COMPRESSIVE STRENGTH, AND 4% AIR ENTRAINMENT.
- WOOD SILL PLATE SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" DIA. ANCHOR BOLTS SPACED A MAXIMUM OF 48-INCHES ON CENTER WITH MINIMUM OF 8-INCH EMBEDMENT AND SHALL ALSO BE LOCATED 8-INCHES FROM THE ENDS OF EACH PLATE SECTION AND AT EACH CORNER.
- BACK FILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACK FILL.
- ALL SURFACES OF STEEL COLUMNS (INSIDE AND OUTSIDE) SHALL BE GIVEN A SHOP COAT OF RUST INHIBITIVE PAINT, EXCEPT FOR CORROSION-RESISTANT STEEL AND STEEL TREATED WITH OTHER COATINGS TO PROVIDE CORROSION RESISTANCE.

Schedule of Drawings	
A-101	Partial Lower Level/ Foundation and main Level Floor Plan
A-102	Roof/ Roof Framing Plan and Second Floor Plan
A-201	Building Elevations
A-301	Building Sections
A-401	Wall Sections
A-402	Wall Sections

Structural legend:	
■	INDICATES POINT LOAD OR COLUMN. USE (2) 2X6 JACK STUDS AND (1) KING STUD, UNLESS NOTED OTHERWISE
□	INDICATES POINT LOAD ABOVE (P.L.A.)
○	PIPE COL. - SIZE AS NOTED ON PLAN
⌋	HANGER CONNECTION DESIGNED BY ROOF TRUSS MANUFACTURER OR STEEL FABRICATOR, UNO.
---	BEAM AS NOTED
---	GIRDER TRUSS, REFER TO ROOF FRAMING PLAN, UNLESS NOTED OTHERWISE
▬	INTERIOR LOAD BEARINGS STUD FRAMED WALL AT 16" C.C. WITH DBL. TOP PLATE



project name
stadler residence

job no.
1819

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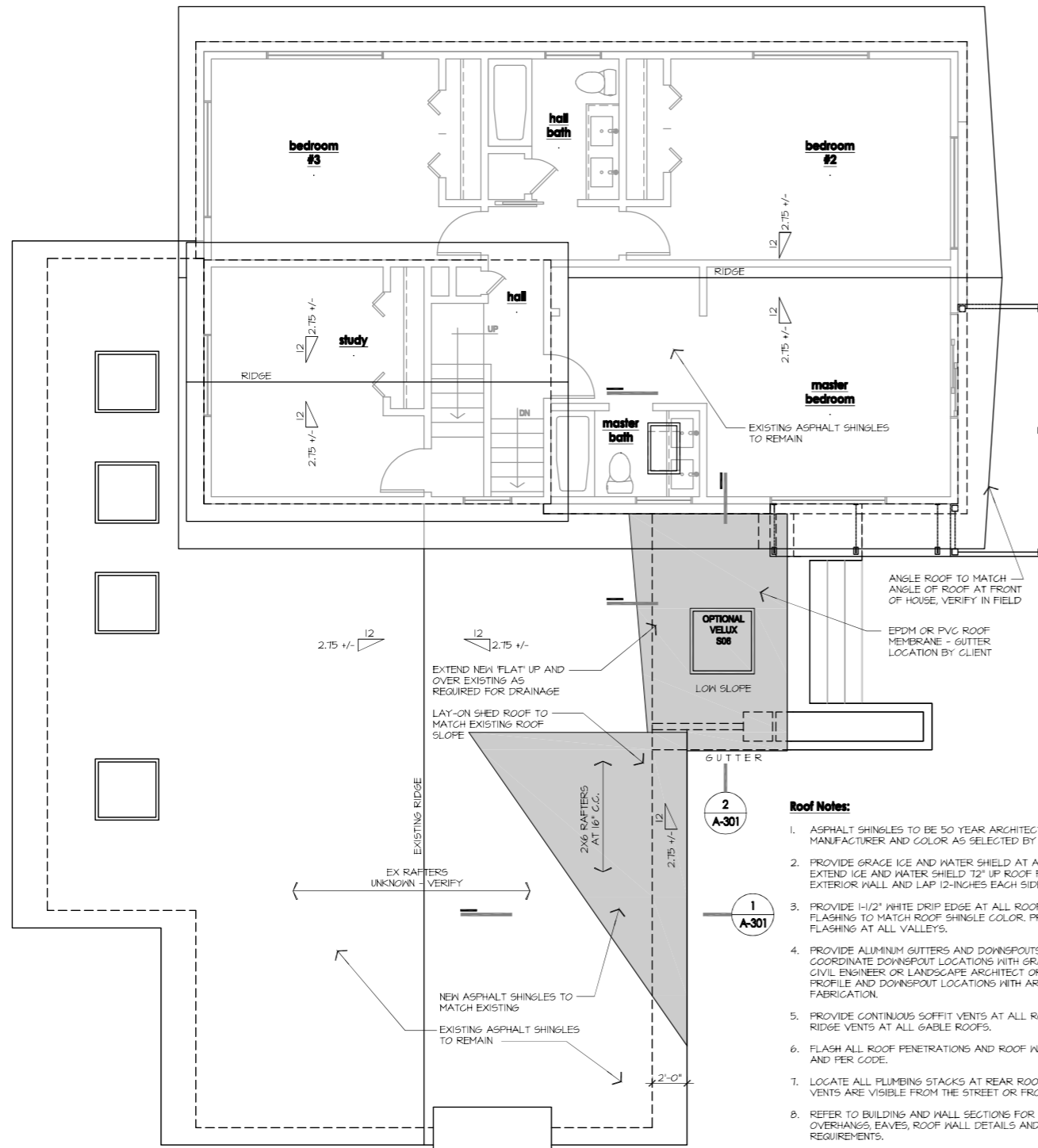
submittals dates	
date	issued for
02.24.20	owner review
03.27.20	building permit
03.18.24	updated permit / cds

all mechanical to be design build in field

project type
addition/renovation

sheet title
Partial Lower Level/ Foundation and Main Level Floor Plan

sheet no.
A-101



Roof/ Roof Framing Plan
 Scale: 1/4" = 1'-0"
 0 2 4 8

Roof Notes:

1. ASPHALT SHINGLES TO BE 50 YEAR ARCHITECTURAL DIMENSIONAL SHINGLE, MANUFACTURER AND COLOR AS SELECTED BY OWNER.
2. PROVIDE GRACE ICE AND WATER SHIELD AT ALL EAVES AND VALLEYS, EXTEND ICE AND WATER SHIELD 12" UP ROOF FROM THE INTERIOR FACE OF EXTERIOR WALL AND LAP 12-INCHES EACH SIDE OF ALL VALLEYS.
3. PROVIDE 1-1/2" WHITE DRIP EDGE AT ALL ROOF EAVES AND RAKES, ALL FLASHING TO MATCH ROOF SHINGLE COLOR, PROVIDE METAL VALLEY FLASHING AT ALL VALLEYS.
4. PROVIDE ALUMINUM GUTTERS AND DOWNSPOUTS MECHANICALLY FASTENED, COORDINATE DOWNSPOUT LOCATIONS WITH GRADING PLAN PREPARED BY CIVIL ENGINEER OR LANDSCAPE ARCHITECT OR OTHERS, REVIEW GUTTER PROFILE AND DOWNSPOUT LOCATIONS WITH ARCHITECT PRIOR TO FABRICATION.
5. PROVIDE CONTINUOUS SOFFIT VENTS AT ALL ROOF EAVES AND CONTINUOUS RIDGE VENTS AT ALL GABLE ROOFS.
6. FLASH ALL ROOF PENETRATIONS AND ROOF WALL CONNECTIONS AS REQUIRED, AND PER CODE.
7. LOCATE ALL PLUMBING STACKS AT REAR ROOF PLANE, VERIFY THAT NO VENTS ARE VISIBLE FROM THE STREET OR FRONT OF HOUSE.
8. REFER TO BUILDING AND WALL SECTIONS FOR ADDITIONAL DETAILS ON ROOF OVERHANGS, EAVES, ROOF WALL DETAILS AND OTHER FLASHING REQUIREMENTS.

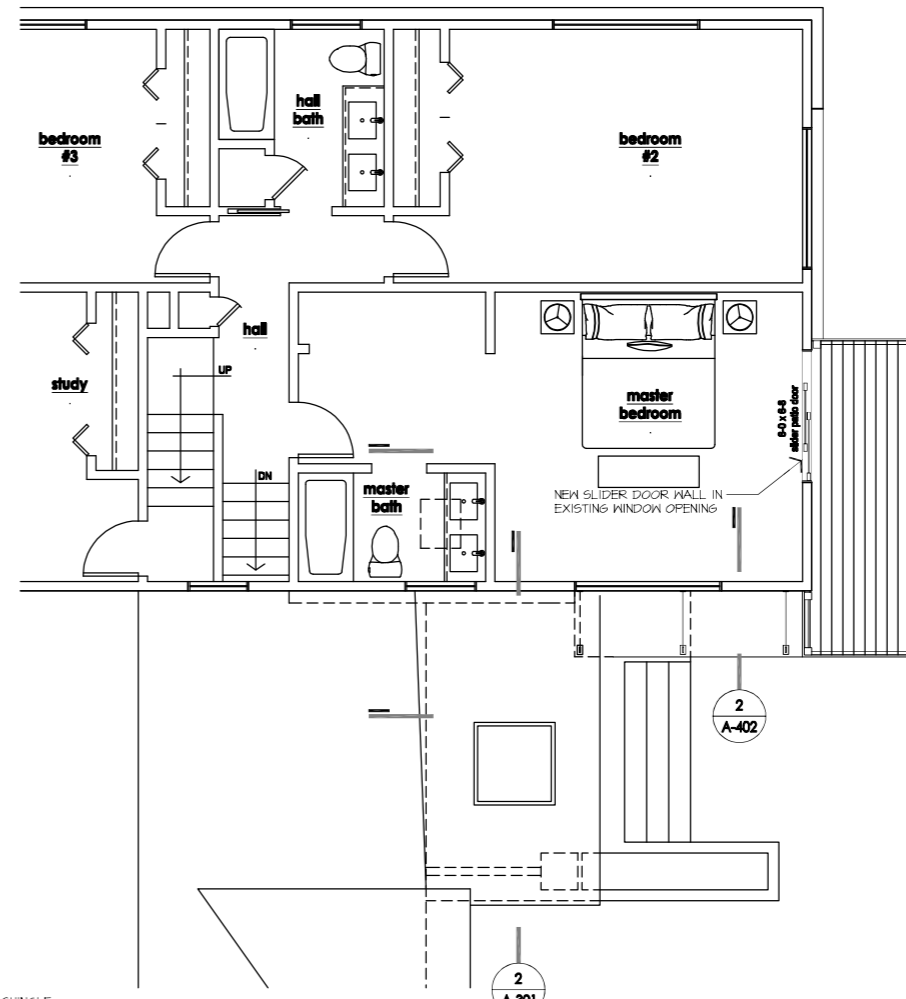
Roof Framing Notes:

1. ALL CONVENTIONAL FRAMING TO BE SPACED AT 16" C.G. UNLESS NOTED OTHERWISE, REFER TO BUILDING SECTIONS FOR ADDITIONAL FRAMING MEMBERS AND DETAILS.

Roof Rafter Over-Build Framing Member Schedule

ALL RAFTERS TO BE SPACED AT 16" C.G. ALL RAFTERS TO BE HEM FIR #2

MAXIMUM SPAN	RAFTER SIZE
11'-9" SPAN	2X6 RAFTER
14'-11" SPAN	2X8 RAFTER
18'-2" SPAN	2X10 RAFTER
21'-2" SPAN	2X12 RAFTER



Partial Second Floor Plan
 Scale: 1/4" = 1'-0"
 0 2 4 8

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submittals dates

date	issued for
02 . 24 . 20	owner review
03 . 27 . 20	building permit
03 . 18 . 24	updated permit / cds

all mechanical to be design build in field

project type
addition/ renovation

sheet title
Roof/ Roof framing Plan and Partial Second Floor Plan

sheet no.
A-102

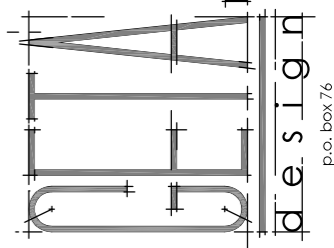
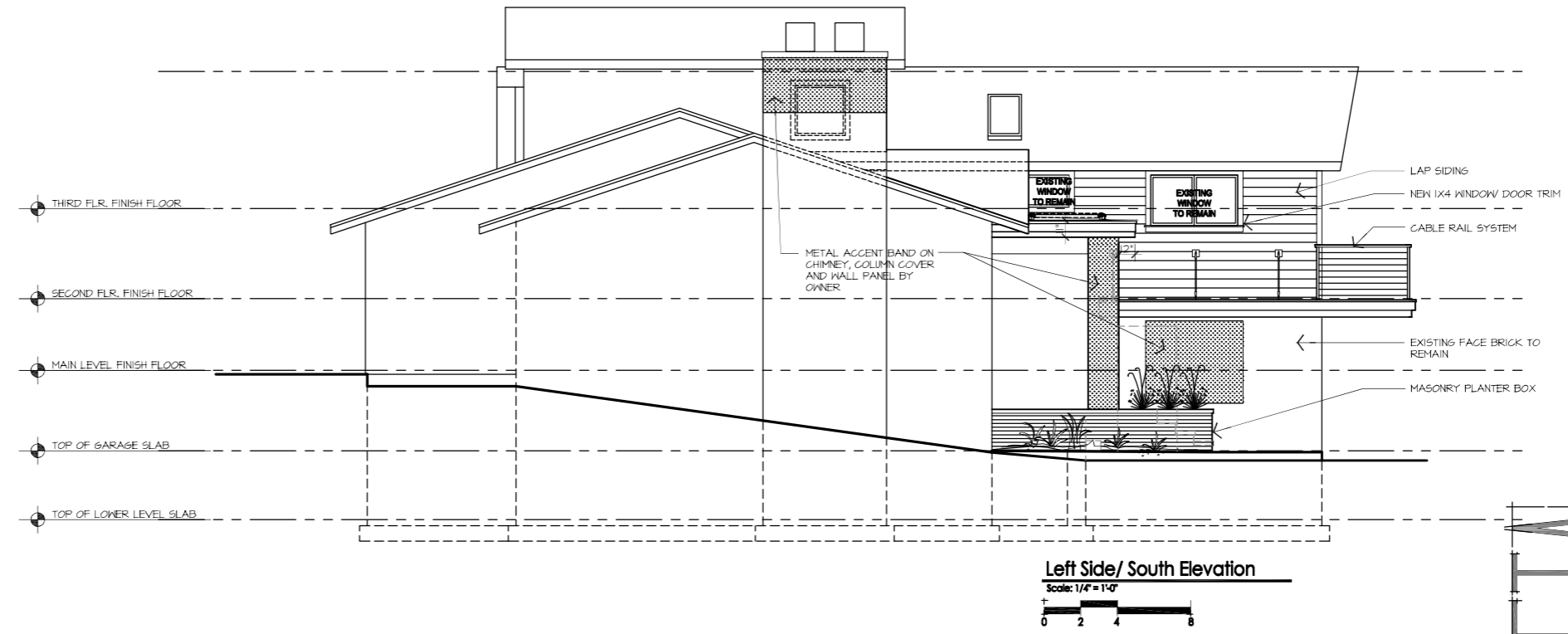
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Exterior Finish Material Schedule			
Material	Manufacturer	Location	Finish/ Color
LAP SIDING	JAMES HARDIE, FACE EXPOSURE AS SELECTED BY OWNER	AS NOTED ON ELEVATIONS	STAINED AS SELECTED BY OWNER
TRIM BOARDS	KLEER PVC TRIM BOARDS	AS NOTED ON ELEVATIONS	AS SELECTED BY OWNER
ASPHALT SHINGLES	50-YEAR ARCHITECTURAL DIMENSIONAL SHINGLE TO MATCH EXISTING	AS NOTED ON ELEVATIONS	AS SELECTED BY OWNER
EXTERIOR WINDOWS AND DOORS	AS SELECTED BY OWNER	AS NOTED ON ELEVATIONS	AS SELECTED BY OWNER

- Exterior Window Notes:**
- ALL WINDOWS ARE TO COMPLY WITH THE CURRENT STATE ADOPTED MICHIGAN ENERGY CODE PART 10 RULES.
 - ALL WINDOWS TO HAVE LOW-E ARGON GAS FILLED.
 - INSTALL ALL WINDOWS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTALLATION GUIDELINES. FLASH ALL EXTERIOR WINDOWS AND DOORS.
 - WINDOW MANUFACTURER TO PROVIDE TEMPERED GLASS IN ALL WINDOWS AND DOORS AS REQUIRED BY THE 2015 MICHIGAN RESIDENTIAL BUILDING CODE.
 - SUBMIT PRODUCT DATA, SHOP DRAWINGS AND WINDOW SCHEDULE TO ARCHITECT FOR REVIEW PRIOR TO PROCUREMENT.

- Exterior Finish Material Notes:**
- ALL CUT ENDS OR DRILLED LUMBER IS TO BE REPAIRED W/ PRIMER
 - PROVIDE IX_ BLOCKING BEHIND ALL WALL MOUNTED ITEMS - VERIFY SIZE AND LOCATION W/ MOUNTING PLATES (IF LOCATED IN SIDING)
 - ALL EXTERIOR TRIM BOARDS BEING PACKED OUT TO BE PACKED OUT, AS REQUIRED TO ALLOW TRIM TO STAND PROUD OF THE SIDING MATERIAL, WITH MINIMUM 1/2" PLYWOOD BACKER SHIMS, UNO.

submittals dates

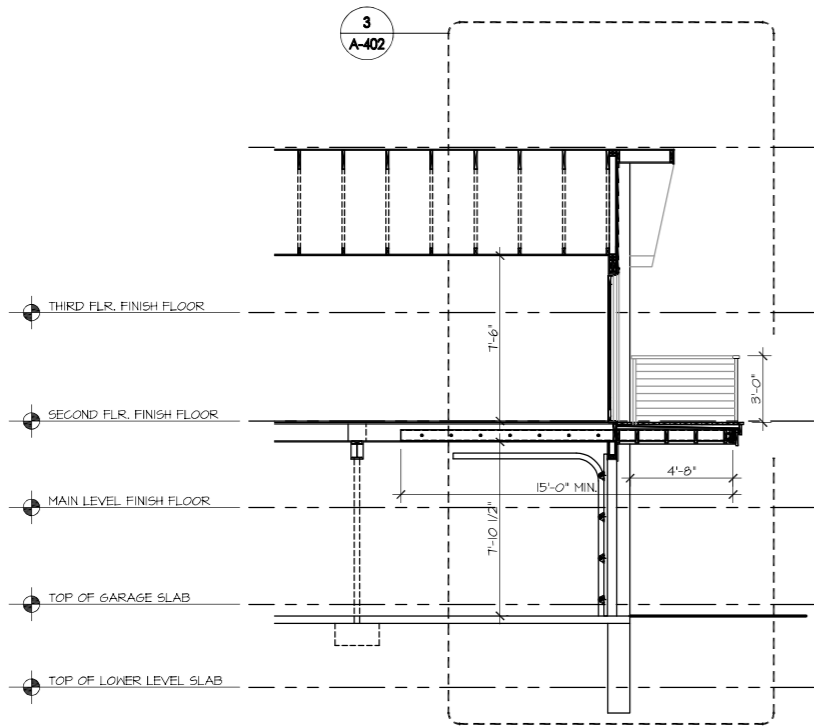
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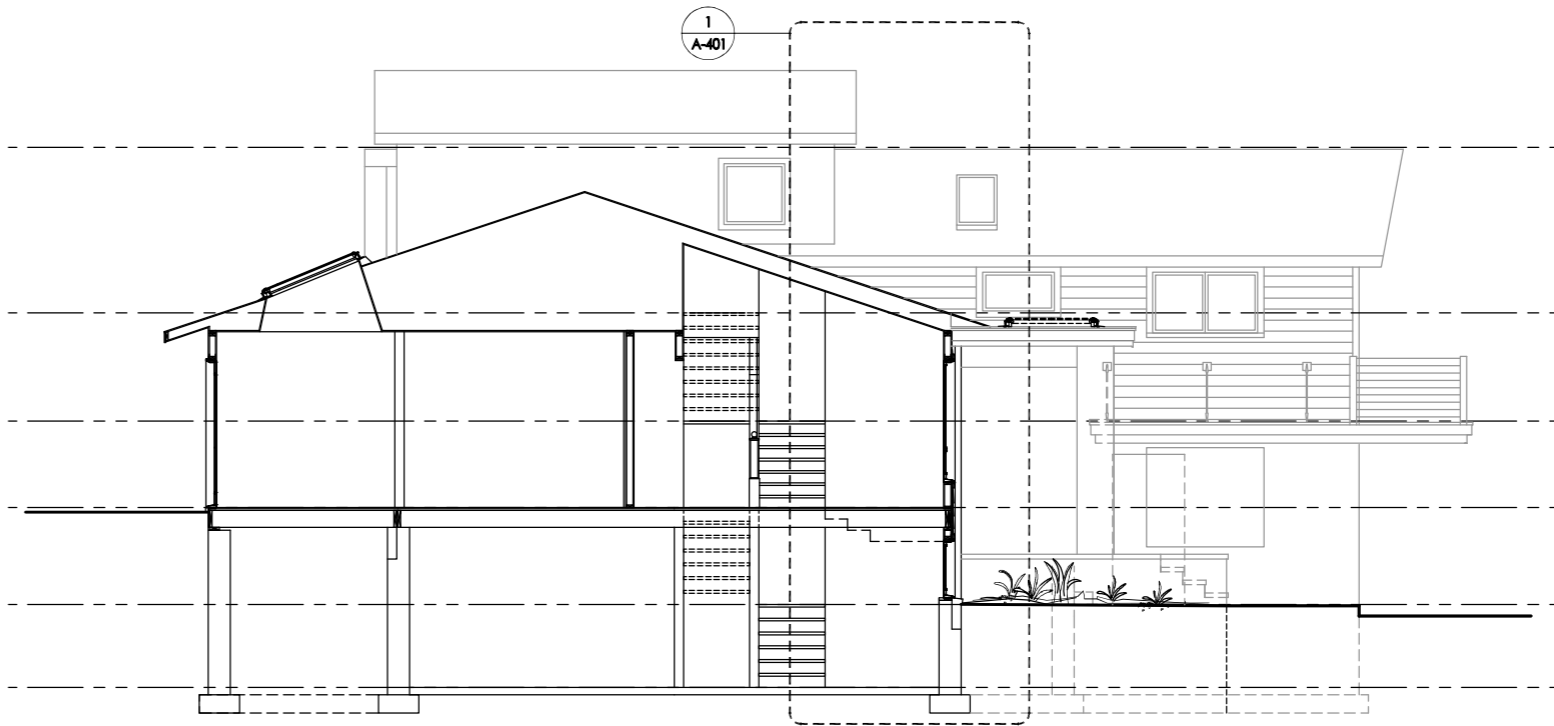
project type
addition/ renovation

sheet title
Building Elevations

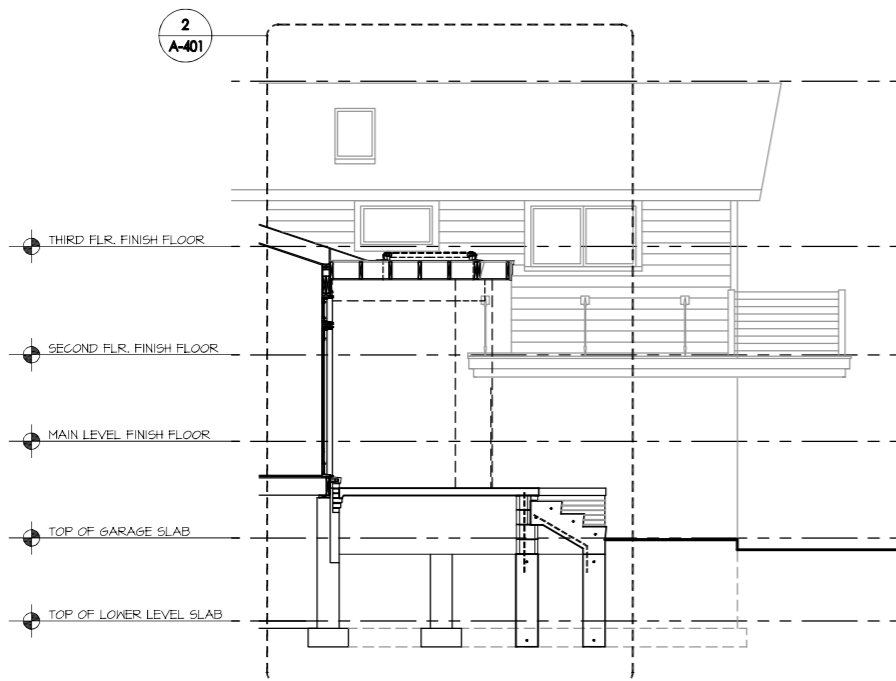
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A-201



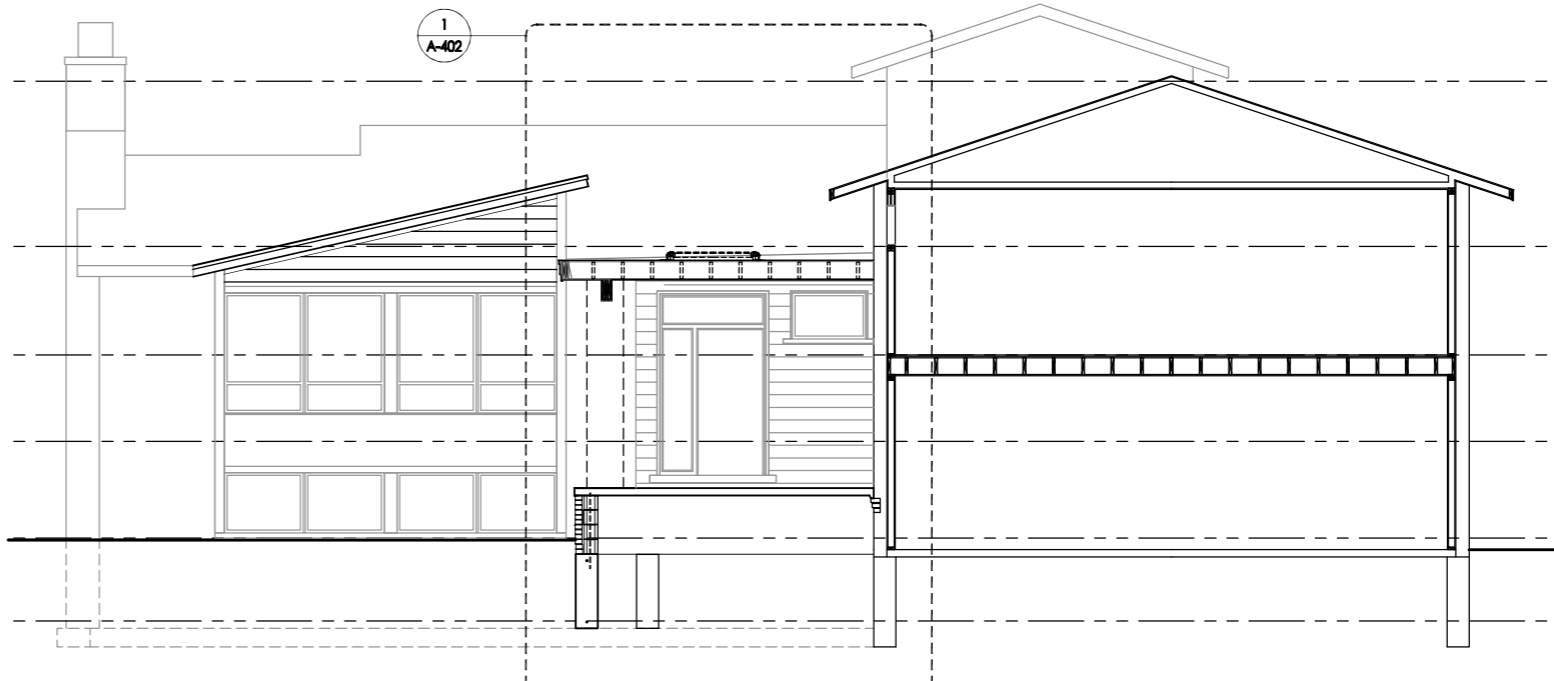
4 Building Section
 Scale: 1/4" = 1'-0"
 0 2 4 8



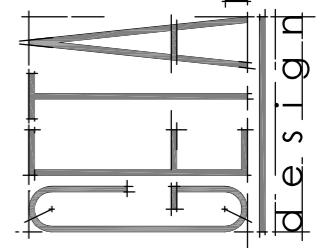
1 Building Section
 Scale: 1/4" = 1'-0"
 0 2 4 8



3 Building Section
 Scale: 1/4" = 1'-0"
 0 2 4 8



2 Building Section
 Scale: 1/4" = 1'-0"
 0 2 4 8



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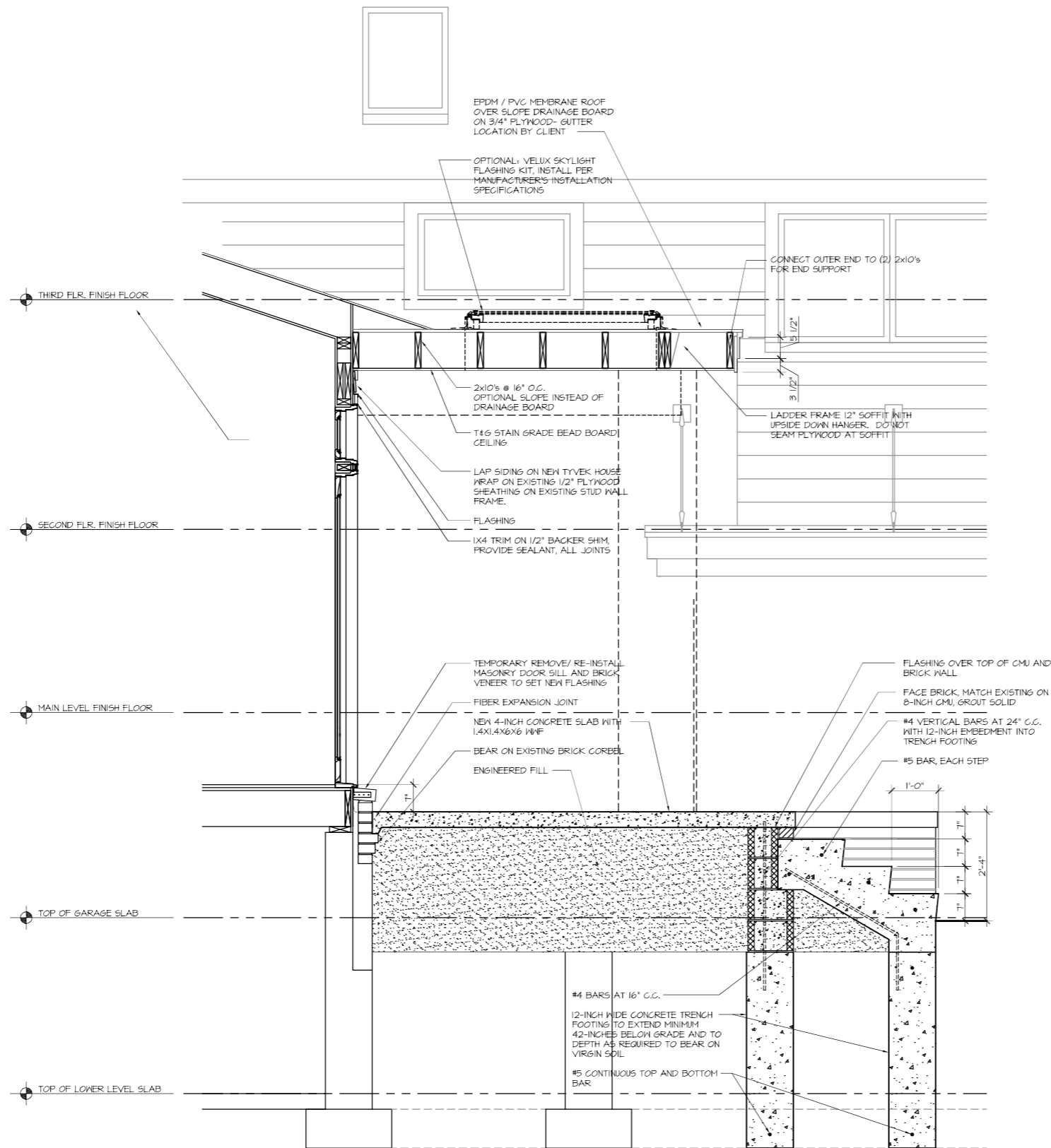
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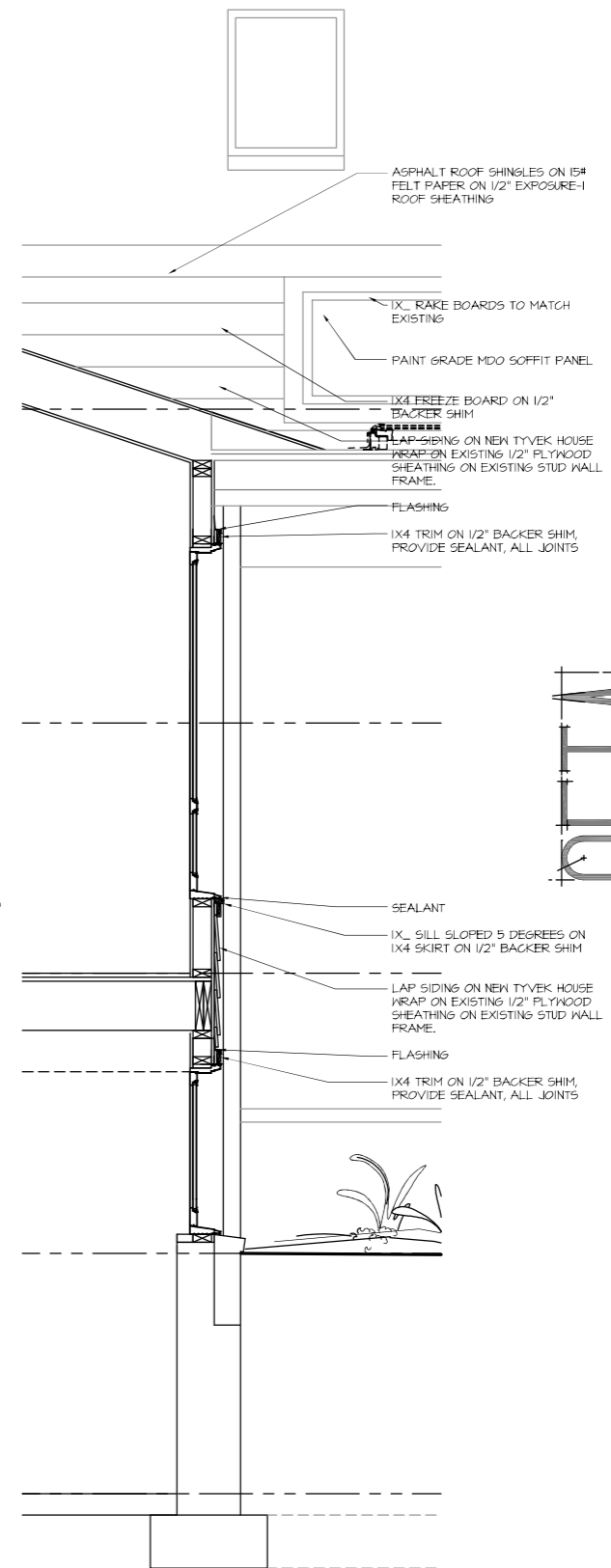
project type
**addition/
 renovation**

sheet title
Building Sections

sheet no.
A-301



2
A-401
Wall Section
Scale: 3/4" = 1'-0"
0 0.5 1 2



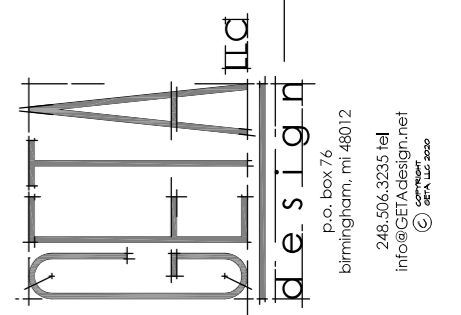
1
A-401
Wall Section
Scale: 3/4" = 1'-0"
0 0.5 1 2

project name
stadler residence

job no.
1819

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project name and address
stadler residence
2511 marais ave.
royal oak, mi 48073
builder
t.b.d.



submittals dates

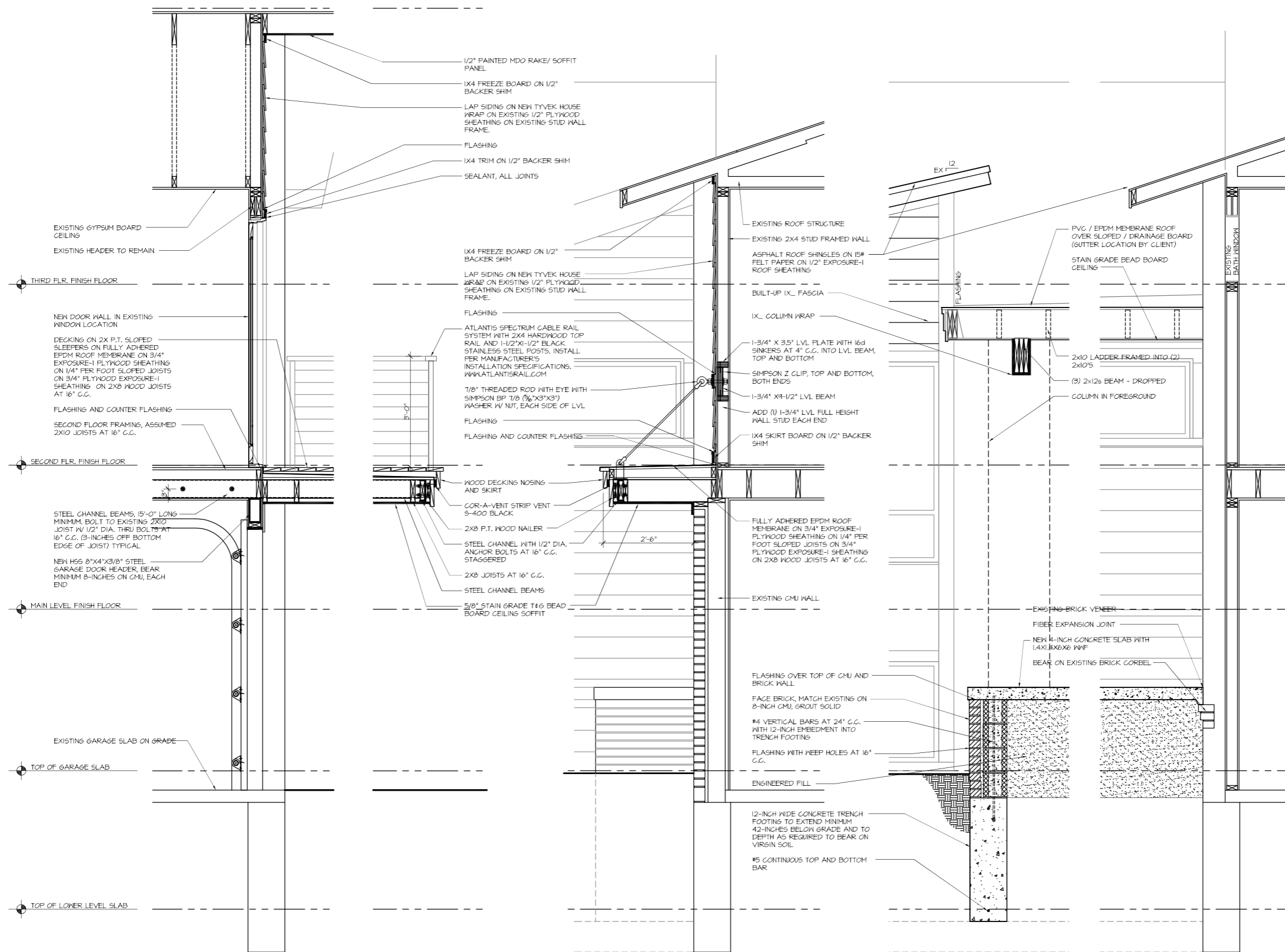
date	issued for
02 . 24 . 20	owner review
03 . 27 . 20	building permit
03 . 18 . 24	updated permit / cds

all mechanical to be design
build in field

project type
**addition/
renovation**

sheet title
**Wall
Sections**

sheet no.
A-401

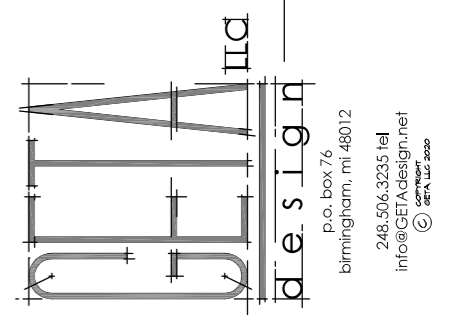


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all mechanical to be design build in field

project type
addition/renovation

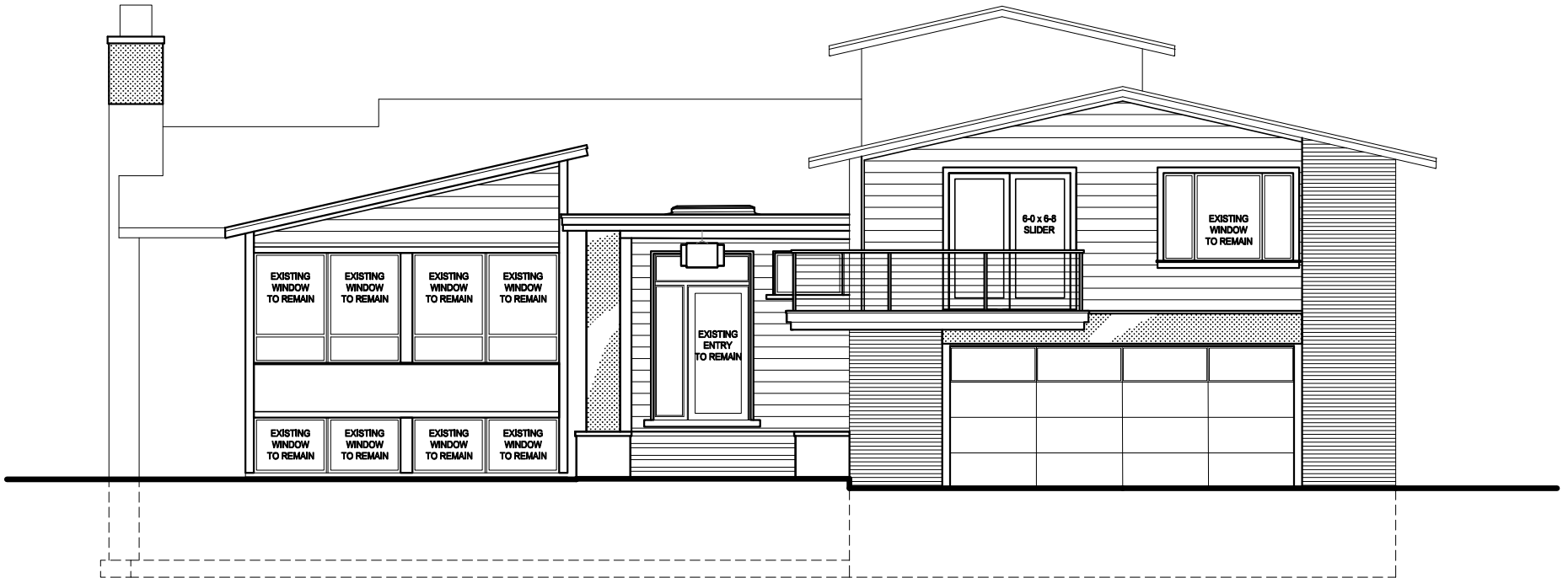
sheet title
Wall Sections

sheet no.
A-402

3
A-402
Wall Section
 Scale: 3/4" = 1'-0"
 0 0.5 1 2

2
A-402
Wall Section
 Scale: 3/4" = 1'-0"
 0 0.5 1 2

1
A-402
Wall Section
 Scale: 3/4" = 1'-0"
 0 0.5 1 2



EXISTING WINDOW TO REMAIN

EXISTING WINDOW TO REMAIN

EXISTING WINDOW TO REMAIN

EXISTING WINDOW TO REMAIN

EXISTING WINDOW TO REMAIN

EXISTING WINDOW TO REMAIN

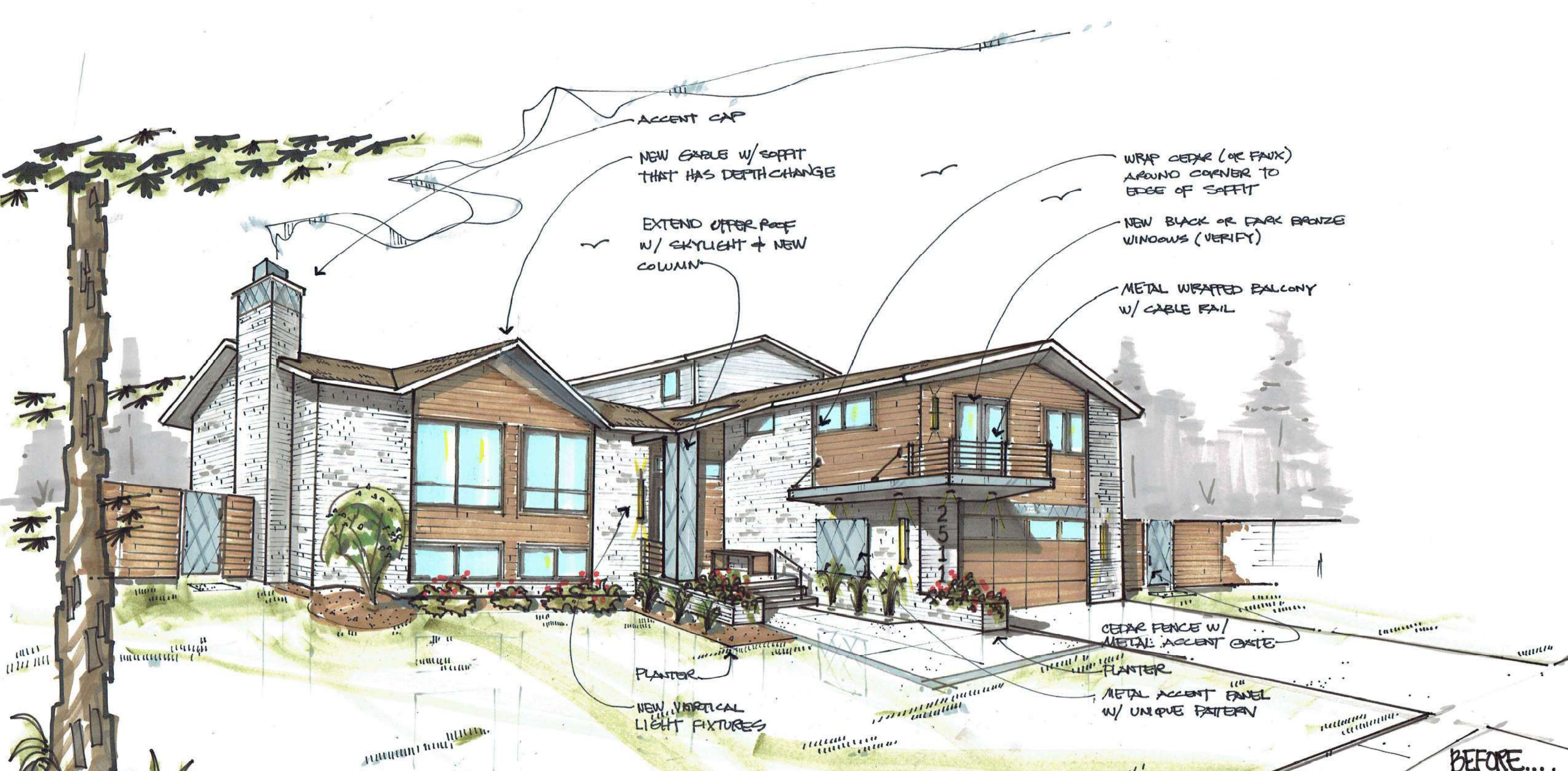
EXISTING WINDOW TO REMAIN

EXISTING WINDOW TO REMAIN

EXISTING ENTRY TO REMAIN

6-0 x 6-8 SLIDER

EXISTING WINDOW TO REMAIN



CURB APPEAL
STADLER
RESIDENCE, ROYAL OAK



Aaron & Leanne Stadler
2511 Marais Avenue
Royal Oak, MI 48073

March 8, 2025

Re. *Second Floor Floating Balcony (For Variance Approval)*

To whom it may concern,

We have lived at 2511 Marais since 2014 and at a previous residence on Linwood prior to that. We have raised our two daughters (Isabella – 11 years and Sophia – 8 years) primarily in this home which currently attend Northwood Elementary. My wife Leanne Stadler (Mangold) has lived in Royal Oak her entire life along with many of her family members which still remain in Royal Oak. Her grandfather Tom Violante started Holiday Market in Royal Oak which Leanne's mother Gina Mangold ran and took over for years. They have been a very large part of the Royal Oak community for the greater part of 50 + years.

The proposed exterior façade renovation to our current home includes a new larger front porch, added roof dormer, a small second floor floating balcony, windows, doors, siding, roof, lighting, paint, and landscaping. The second floor floating balcony is an essential portion of our interior renovation and layout as well. The original exterior rendering was developed by architect Doug Leahy with GETAdesign and later was turned into construction drawings for the project. The proposed drawings were revised in March of 2024. We met with and bid out our project to prime contractors early this year. We chose to go with Detroit Build of Royal Oak and when they applied for the permit the planning commission denied the permit for the reason of the second floor balcony. We have demolition scheduled for the end of March 2025 which we will need to hold off on a portion of the project.

The proposed renovation to the home will not alter the essential character of the area or community but will therefore improve it. The proposed scope of work of the exterior renovation will be essential for the look of the community and will maintain the characteristic of the current home as it was built in 1957 in the mid century modern era. This home will then blend in with multiple homes in the neighborhood as close neighboring homes have the same characteristics. This includes multiple homes with existing second floor balconies right down Vinsetta Avenue similar and some much larger than our proposed.

Many of our close community neighbors have no problems with our exterior renovation plans and welcome us to improve our home and the look of the community. Our actual neighbors (Dianne Howey) long term resident that resides to the south, and (MI State Senator Mallory McMorrow) who resides to the north also have no problems with the proposed façade renovation. Many neighbors have signed a letter that I will bring to the hearing stating that they approve the project and are pleased to see the improvement to the community.

Please reconsider with this variance the construction of our second floor balcony as it is an essential portion of our interior/ exterior renovation.

Thank you for your time,

Aaron & Leanne Stadler







3315













2703