
(Above space for recording purposes.)

CONDITIONAL ZONING AGREEMENT

THIS CONDITIONAL ZONING AGREEMENT is hereby entered into and among 13 STRADA, LLC, 20259 Mack Avenue, Suite 2, Grosse Pointe Farms, Michigan 48236, a Michigan limited liability company (“Developer”), and the CITY OF ROYAL OAK, MICHIGAN, 203 South Troy Street, Royal Oak, Michigan 48067, a Michigan municipal corporation (“City”), on January 27, 2025.

RECITALS

A. The Developer is currently the fee owner of real property located at the southeast corner of West 13 Mile Road and Prairie Avenue, Royal Oak, Michigan, or parcel number 25-07-103-041, more specifically described on Exhibit A attached hereto (“Development Parcel”).

B. The Developer intends to construct multiple-family dwellings on the Development Parcel.

C. In order to facilitate the sale of the development, the Developer desires to have the Development Parcel rezoned from “Neighborhood Business” to “Multiple-Family Residential” under the Royal Oak Zoning Ordinance.

D. The Developer has voluntarily offered to enter into the Conditional Zoning Agreement consistent with the Michigan Zoning Enabling Act, Public Act 110 of 2006, as amended.

E. This Conditional Zoning Agreement is made by the City pursuant to authority granted to the City under MCLA §125.3405, as amended.

F. The City, by action of its City Commission at its meeting of January 27, 2025, has accepted the offer of the Developer to enter into this Conditional Zoning Agreement.

ARTICLE 1

DEFINITIONS AND COVENANTS

1.1 “Effective Date” means the date of February 6, 2025, which is ten (10) days after the date the Royal Oak City Commission accepted the Developer’s conditional zoning offer and approved the rezoning of the Development Parcel and this Conditional Zoning Agreement.

1.2 “Development Parcel” means at the southeast corner of West 13 Mile Road and Prairie Avenue, Royal Oak, Michigan, or parcel number 25-07-103-041, legally described in Exhibit A attached hereto.

1.3 “Improvements” means (a) acquisition of building permits; (b) submission of required site bonds to the City; (c) on-site improvements on the exterior Development Parcel such as site grading, in-ground utility changes, and building staking.

1.4 “Royal Oak Zoning Ordinance” means Chapter 770, Zoning, of the Code of the City of Royal Oak.

1.5 “Royal Oak Sign Ordinance” means Chapter 607, Signs, of the Code of the City of Royal Oak.

1.6 “Zoning Enabling Act” means the State of Michigan’s Act 110 of the Public Acts of 2006, as amended (MCLA §125.3101, et. seq., as amended).

ARTICLE 2
DESCRIPTION OF DEVELOPMENT

2.1 Development Description. The development involves the construction of multiple-family dwellings on the Development Parcel as referenced in Exhibits B and C attached hereto.

2.2 Development Parcel. The Development Parcel is described in Exhibit A attached hereto.

2.3 Current Ownership of Development Parcel. The Developer shall have the right to assign or transfer the fee title of the Development Parcel to another entity or an entity to be formed, and this Conditional Zoning Agreement shall be assigned to that entity.

2.4 Site Plan. The documents, drawings and submittals for the Development Parcel which constitute the Site Plan are identified on the plan sheets attached hereto as Exhibit B (“Site Plan”), and a memorandum from the City of Royal Oak Community Development Department’s Planning Division attached hereto as Exhibit C (“Planning Commission Resolution”).

ARTICLE 3
REZONING AND CONDITIONS SUBSEQUENT TO REZONING

3.1 Rezoning. The City hereby agrees to rezone the Development Parcel from Neighborhood Business to Multiple-Family Residential as that term is identified in § 770-37, Multiple-Family Residential, of the Royal Oak Zoning Ordinance and allow the uses identified in Section 4.3(f). The following conditions shall apply to such rezoning:

a. Solar panels and electric vehicle chargers shall be installed as depicted on the Site Plan.

b. The Developer shall make a good faith effort to offer dwellings at fair market rent for nurses and service employees of Corewell Health William Beaumont University Hospital.

c. All paving, utilities, and work within public rights-of-way shall be in accordance with the specifications and standards of the City Engineer.

d. Any exterior lighting fixtures shall comply with § 770-96 (B) of the Zoning Ordinance and other city codes and ordinances, including being directed downward and shielded so as not to shine on adjacent property, and within maximum permitted fixture heights and illumination levels.

e. All signage shall comply with the Sign Ordinance (Chapter 607) or receive the necessary variances from the Planning Commission.

f. A performance bond shall be posted in an amount to be determined by the Building Official.

g. The site plan shall meet all other code and ordinance requirements, as determined by the Building Official, Fire Marshal, and City Engineer prior to issuance of any building permit. Such requirements include, but are not limited to, the Michigan Building Code, the Fire Prevention Ordinance (Chapter 340, Fire Prevention, of the Code of the City of Royal Oak), and the Stormwater Detention Ordinance (Chapter 644, Stormwater Detention, of the Code of the City of Royal Oak).

3.2 Conditions Subsequent to Rezoning. If the Developer fails failure to commence Improvements to the Development Parcel within two (2) years from the Effective Date, then this Conditional Zoning Agreement shall be null and void and the zoning of the Development Parcel shall revert to the Neighborhood Business zoning classification.

3.3 Force Majeure. Notwithstanding anything to the contrary contained in Section 3.2 above, if any failure or inability of the Developer to meet the conditions set forth in Section 3.2 is caused by delay beyond the reasonable control of the Developer, such as pandemic, war, civil insurrection, strike, inclement weather, inability to procure material or labor, and the like, then the Developer shall be given an extension of time to satisfy the aforesaid conditions equal to the period of delay.

ARTICLE 4 **GENERAL PROVISIONS**

4.1 Site Plan Approval. The City hereby approves the Developer's Site Plan as attached as Exhibits B and C, and by approval and execution of this Conditional Zoning Agreement confirms and ratifies approval of the Developer's Site Plan. The Developer is entitled to proceed to request building permits consistent with applicable City Ordinances and the approved Site Plan. Minor modifications to the Site Plan may be required based on factors discovered during the course of civil or architectural drawing preparation or in the field during the construction of the improvements, or upon subsequent request of the Developer. For purposes of expediency, minor changes to the Site Plan that are necessary or appropriate shall be reviewed and approved by city staff, provided such changes comply with the Royal Oak Zoning Ordinance and the intent of this Conditional Zoning Agreement. The City shall have the sole and absolute discretion to determine what constitutes a minor change to the approved Site Plan that may be reviewed and approved administratively by city staff, and what constitutes a material change to the approved Site Plan that requires an amendment to this Conditional Zoning Agreement.

4.2 Deviations from Zoning Ordinance Standards. The City hereby approves the following deviations to required standards of the Royal Oak Zoning Ordinance:

a. No more than ten (10) multiple-family dwelling shall be permitted.

b. Building setbacks of less than twenty-five (25) feet shall be permitted as depicted on the Site Plan.

c. The ground level street frontage along West 13 Mile Road and Prairie Avenue may be off-street parking as depicted on the Site Plan.

d. Landscaping, screening, and open spaces shall be as depicted on the Site Plan.

- e. Vehicular access to off-street parking spaces shall be as depicted on the Site Plan.
- f. The depth of off-street parking spaces at the rear of the building shall be as depicted on the Site Plan.

All signage shall comply with the required standards of § 607-06, Sign Area 2, and all other applicable sections of the Royal Oak Sign Ordinance or receive the necessary variances from the Planning Commission according to § 607-16, Compliance; Violations; Appeals; Variances.

4.3 City's Representations and Warranties.

a. Authority. The City has the authority to enter into this Conditional Zoning Agreement and to perform and carry out all obligations, covenants, and provisions hereof. The City's authority shall be evidenced by appropriate resolutions.

b. Transfer of Ownership. The transfer of title of the Development Parcel to an entity, in which the principals of the Developer have an ownership interest, if such transfer is made prior to substantial completion of the Improvements, shall not constitute an event of default under this Conditional Zoning Agreement.

c. Compliance. The Conditional Zoning Agreement complies with the requirements of City Ordinances, including the Royal Oak Zoning Ordinance, except for the deviations approved in Section 4.2 above.

d. Sole Authority. The City Commission is the sole and appropriate municipal body to enter into the Conditional Zoning Agreement with the Developer.

e. Plan Review. The City will timely review the plans and documents submitted for building permits, public utilities, and signage, and all amendments submitted by the Developer to achieve the purposes of this Conditional Zoning Agreement.

f. Uses. The intended land uses for the Development Parcel are permitted uses under § 770-37, Multiple-Family Residential, subparagraph (B)(2) of the Royal Oak Zoning Ordinance, and shall include the following: ten (10) multiple-family dwellings in one building.

g. Validity of Uses. In the event that the Royal Oak Zoning Code is amended such that the uses provided for in this Conditional Zoning Agreement for the Development Parcel are no longer permitted uses of right or special land uses in a Multiple-Family Residential zone, the uses provided for in this Conditional Zoning Agreement shall be considered legally nonconforming and continuation of those uses shall be governed by Article X, Nonconforming Uses, Structures and Lots, of the Royal Oak Zoning Ordinance.

h. Restraints. Neither the execution nor delivery of this Conditional Zoning Agreement nor the consummation of the transaction contemplated hereby is in violation of any provision of any existing law or regulation, order or decree of any court or governmental entity, the City's Charter, or any agreement to which the City is a party or by which it is bound.

i. Disclosure. No representation of warranty by the City, or any statement or certificate furnished to the Developer pursuant hereto or in connection with the transactions contemplated hereby, contains or will contain any untrue statement of a material fact or will omit to state any fact necessary to make the statements contained herein or therein not misleading.

j. Litigation. The City has no notice of and there is no pending or threatened litigation, administrative action, or examination, claim, or demand before any court or any federal, state, or municipal governmental department, commission, board, bureau, agency, or instrumentality thereof which would affect the City or its principals from carrying out the covenants and promises made herein.

4.4 Developer's Representations and Warranties.

a. Organization. The Developer is duly organized and validly existing in good standing under the laws of the State of Michigan and has all requisite power and authority to own and operate its assets and properties, to carry on its business as now being conducted, and to enter into and perform the terms of the Conditional Zoning Agreement.

b. Authorization. The execution and delivery of this Conditional Zoning Agreement and consummation of the transactions contemplated hereby have been duly authorized by the Developer.

c. Restraints. Neither the execution nor delivery of this Conditional Zoning Agreement nor the consummation of the transaction contemplated hereby is in violation of any provision of any existing law or regulation, order or decree of any court or governmental entity, the Developer's organizational documents, or any agreement to which the Developer is a party or by which it is bound.

d. Disclosure. No representation of warranty by the Developer, or any statement or certificate furnished to the City pursuant hereto or in connection with the transactions contemplated hereby, contains or will contain any untrue statement of a material fact or will omit to state any fact necessary to make the statements contained herein or therein not misleading.

e. Litigation. The Developer has no notice of and there is no pending or threatened litigation, administrative action, or examination, claim, or demand before any court or any federal, state, or municipal governmental department, commission, board, bureau, agency, or instrumentality thereof which would affect the Developer or its principals from carrying out the covenants and promises made herein.

f. Financial. The Developer is financially able to develop the Development Parcel as stipulated by the approved Site Plan.

g. Compliance with Laws. The Developer shall comply with all Laws and all City ordinances applicable to the construction, ownership, maintenance, operation, and use of the Development Parcel.

h. Taxes and Assessments. After the effective date of this Conditional Zoning Agreement, the owner of the Development Parcel shall pay on or before the date by which penalties are assessed, all real estate taxes and special assessments levied against the Development Parcel.

ARTICLE 5 **NOTICES**

All notices, consents, approvals, requests, and other communications, herein collectively called "Notices," required or permitted under this Conditional Zoning Agreement shall be given in writing, signed by an authorized representative of the City, or the Developer and mailed by certified or registered mail,

return receipt requested, personally delivered, sent by overnight courier, or sent by facsimile transmission or other electronic means to a party as follows:

To City: Director of Community Development
City of Royal Oak
203 S. Troy St.
Royal Oak, MI 48067
Telephone: (248) 246-3280
E-Mail: timt@romi.gov

With a Copy To: City Attorney
City of Royal Oak
203 S. Troy St.
Royal Oak, MI 48067
Telephone: (248) 246-3240
E-Mail: niccolas.grochowski@romi.gov

To Developer: Adrian Qeraj
13 Strada, LLC
20259 Mack Ave. Suite 2
Grosse Pointe Woods, MI 48236
Telephone: (248) 805-2207
E-Mail: adrianqeraj@yahoo.com

All such notices, certificates, or other communications shall be deemed served upon the date of personal delivery, the day after delivery to a recognized overnight courier, the date of the transmission by facsimile or other electronic means is verified, or two days after mailing by register or certified mail. Any party may by notice given under this Conditional Zoning Agreement designate any further or different addresses or recipients to which subsequent notices, certificates, or communications hereunder shall be sent.

ARTICLE 6 **MISCELLANEOUS**

6.1 Non-Liability of City, Officials, and Employees. No City official, officer, employee, board member, City Commission member, elected or appointed official, attorneys, consultants, advisors, agents, and representatives shall be personally liable to the Developer for any default or breach by the City of any obligation under this Conditional Zoning Agreement or in any manner arising out of the performance of this Conditional Zoning Agreement by any party.

6.2 Successors/Provisions Running With the Land. This Conditional Zoning Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective successors, heirs, assigns, and transferees. The provisions of Sections 3.1 and 3.2 of this Conditional Zoning Agreement shall be deemed benefits and burdens which shall run with the Development Parcel.

6.3 Recording. This Conditional Zoning Agreement shall constitute deed restrictions on the Development Parcel and shall be recorded with the Oakland County Register of Deeds at the expense of the Developer. The documents, drawings, and submittals referenced in Section 2.3 are not required to be recorded and the City shall maintain such documents in its books and records.

6.4 Complete Agreement. This Conditional Zoning Agreement constitutes the entire agreement between the parties with respect to the subject of this Conditional Zoning Agreement and it may not be amended or its terms varied except in writing and signed by the required parties.

6.5 Conflicts. In the event of conflict between the provisions of this Conditional Zoning Agreement and the provisions of the Royal Oak Zoning Ordinance, the provisions of this Conditional Zoning Agreement shall prevail.

6.6 Default Remedies of Developer. The City shall not be in default in any term or condition of this Conditional Zoning Agreement unless and until the Developer has provided the City with written notice that the City has failed to comply with an obligation under this Conditional Zoning Agreement, and the City has failed to cure such failure within thirty (30) days of the written notice, unless the nature of the noncompliance is such that it cannot be cured with due diligence within such period, in which case the City has failed to commence the cure within such period and thereafter diligently pursued the cure. In the event of a default, the Developer's sole remedy at law or in equity shall be the right to seek specific performance as to the issuance of approvals, consents, or the issuance of building permits required by the City pursuant to this Conditional Zoning Agreement.

6.7 Default Remedies of City. The Developer shall not be in default in any term or condition of this Conditional Zoning Agreement unless and until the City has provided the Developer with written notice that the Developer has failed to comply with an obligation under this Conditional Zoning Agreement, and the Developer has failed to cure such failure within thirty (30) days of the written notice, unless the nature of the noncompliance is such that it cannot be cured with due diligence within such period, in which case the Developer has failed to commence the cure within such period and thereafter diligently pursued the cure. In the event of a default, the City's sole remedy at law or in equity shall be the right to seek specific performance of the obligations of the Developer pursuant to this Conditional Zoning Agreement.

6.8 Third-Party Benefits. No term or provision of this Conditional Zoning Agreement is intended to be, or shall be, for the benefit of any person not a party to the Agreement, and no such person shall have any right or cause of action hereunder.

6.9 Severability. The invalidity of any article, section, subsection, clause, or provision of this Conditional Zoning Agreement shall not affect the validity of the remaining articles, sections, subsections, clauses, or provisions hereof, which shall remain valid and enforceable to the fullest extent permitted by law.

6.10 Waiver of Breach. A party to this Conditional Zoning Agreement does not waive any default, condition, promise, obligation, or requirement applicable to any other party hereunder, unless such waiver is in writing, signed by an authorized representative of that party, and expressly stated to constitute such waiver. Such waiver shall only apply to the extent given and shall not be deemed or construed to waive any such or other default, condition, promise, obligation, or requirement in any past or future instance. No failure of a party to insist upon strict performance of any covenant, agreement, term, or condition of this Conditional Zoning Agreement or to the exercise of any right or remedy in the event of a default shall constitute a waiver of any such default in such covenant, agreement, term, or condition.

6.11 Governing Law. This Conditional Zoning Agreement shall be governed by, construed and enforced in accordance with, the laws of the State of Michigan. The Developer agrees, consents, and submits to the personal jurisdiction of any competent court of jurisdiction in Oakland County, Michigan, for any action brought against it arising out of this Conditional Zoning Agreement. The Developer also agrees that it will not commence any action against the City because of any matter whatsoever arising out of, or relating to, the validity, construction, interpretation, and enforcement of this Conditional Zoning Agreement in any courts other than those within Oakland County, Michigan. Nothing hereunder shall be

construed to limit or prohibit the Developer to petition or submit land use or zoning requests to the City after the Effective Date.

6.12 Joint Drafting. This Conditional Zoning Agreement has been negotiated by the parties and each party has joined in and contributed to its drafting. Accordingly, there shall be no presumption favoring or burdening any of the parties based upon draftsmanship.

6.13 Amendment. This Conditional Zoning Agreement shall not be modified, altered, or amended except by written agreement duly executed by the Developer, and the City as authorized by the City Commission. Any of the following conditions shall require an amendment to this Conditional Zoning Agreement:

a. Any proposed use or uses of the Development Parcel that are materially different than those referenced in Section 4.3(f), as determined at the sole and absolute discretion of the City;

b. Any proposed change or modification to the documents, drawings, and submittals referenced in Section 2.4 which constitute a material change to the approved Site Plan, as determined at the sole and absolute discretion of the City;

c. Any additional conditions to the rezoning of the Development Parcel other than those referenced in Section 3.1; or

d. Any additional deviations to required standards of the Royal Oak Zoning Ordinance other than those referenced in Section 4.2.

[signature pages follow]

IN WITNESS WHEREOF, the City and the Developer, by and through their duly authorized representatives, have executed this Conditional Zoning Agreement as of the day and year first above written.

CITY OF ROYAL OAK, MICHIGAN
a Michigan municipality

By: Michael C. Fournier
Its: Mayor

By: Melanie S. Halas
Its: City Clerk

STATE OF MICHIGAN)
) SS.
COUNTY OF OAKLAND)

The foregoing Conditional Zoning Agreement was acknowledged before me this _____ day of _____, 2025, by Michael C. Fournier, Mayor, on behalf of the City of Royal Oak, a Michigan municipality.

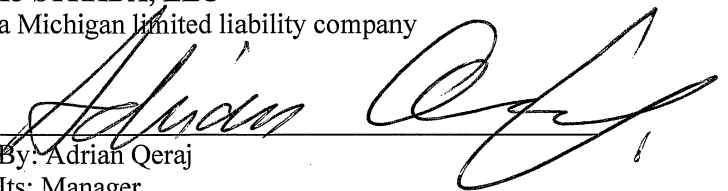
_____, Notary Public
Oakland County, Michigan
My Commission Expires: _____

STATE OF MICHIGAN)
) SS.
COUNTY OF OAKLAND)

The foregoing Conditional Zoning Agreement was acknowledged before me this _____ day of _____, 2025, by Melanie S. Halas, City Clerk, on behalf of the City of Royal Oak, a Michigan municipality.

_____, Notary Public
Oakland County, Michigan
My Commission Expires: _____

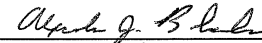
13 STRADA, LLC
a Michigan limited liability company


By: Adrian Qeraj
Its: Manager

STATE OF MICHIGAN)
) SS.
COUNTY OF OAKLAND)

The foregoing Conditional Zoning Agreement was acknowledged before me this 14th day of January, 2025, by Adrian Qeraj, Manager, on behalf of 13 Strada, LLC, a Michigan limited liability company.

ALEXANDER BAHORSKI
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF MACOMB
My Commission Expires April 15, 2029
Acting in the County of Oakland


_____, Notary Public
Oakland County, Michigan
My Commission Expires: April 15, 2029

Exhibits:

- A – Development Parcel
- B – Site Plan
- C – Planning Commission Resolution

Drafted by and when recorded return to:

Planning Division
Community Development Department
City of Royal Oak
203 South Troy St.
Royal Oak, MI 48067

EXHIBIT A

Development Parcel

Land situated in the City of Royal Oak, in the County of Oakland, State of Michigan, described as follows:

T1N, R11E, SEC. 7, LOTS 346, 347, 348, 349 AND 350, PRAIRIE LAWN ACRES NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 37 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS.

[Parcel Identification Number: 25-07-103-041].

[Street Address: N/A].

EXHIBIT B

Site Plan

13 STRATA, LLC. MULTI-FAMILY

13 MILE AND PRAIRIE AVE

ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

CIVIL / LANDSCAPE ENGINEER

STONEFIELD ENGINEERING & DESIGN
555 S OLD WOODWARD AVENUE,
ROYAL OAK, MI 48009
248.247.1115

OWNER

13 STRATA, LLC
20259 MACK AVE, SUITE 2
GROSSE POINTE WOODS MI 48236
313.300.7280

PROJECT INFORMATION

PROJECT DESCRIPTION

THE PARCEL LOCATED AT THE INTERSECTION OF PRAIRIE AVENUE AND 13 MILE ROAD IN THE CITY OF ROYAL OAK, OAKLAND COUNTY, MICHIGAN (PARCEL ID: 2507103041) IS PROPOSED FOR A COMPLETE REDEVELOPMENT. THE PROJECT INVOLVES THE CONSTRUCTION OF A NEW THREE-STORY MULTI-FAMILY APARTMENT BUILDING, FEATURING 12 UNITS SERVICED BY A SINGLE STAIRWAY CORE. BUILDING TO BE EQUIPPED WITH SPRINKLER FIRE SYSTEM.

APPLICABLE CODES

2021 MICHIGAN BUILDING CODE (MBC) AS AMENDED
2021 MICHIGAN MECHANICAL CODE (MMC) AS AMENDED
2021 MICHIGAN PLUMBING CODE (MPC)
2015 MICHIGAN ENERGY CODE (MEC)
2017 NATIONAL ELECTRICAL CODE (NEC)
2015 NFPA 101 LIFE SAFETY CODE

BARRIER FREE REQUIREMENTS:

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

RESIDENTIAL - R-2

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

ALLOWABLE AREA:
ACTUAL AREA:
ALLOWABLE STORIES (HEIGHT); NO PRINCIPAL BUILDING HEIGHT SHALL EXCEED 36'
ACTUAL STORIES (HEIGHT): 36'

CHAPTER 6 - TYPES OF CONSTRUCTION

TYPE: IIIA
-STRUCTURAL FRAME: 1 HOUR
-BEARING WALLS: 2 HOUR
-EXTERIOR NON-BEARING WALLS: 2 HOUR
-INTERIOR NON-BEARING WALLS: 0 HOURS
-OPENING PROTECTIVES AT EXTERIOR WALL: 2 HOURS
-FLOOR CONSTRUCTION AND SECONDARY FRAMING: 1 HOUR
-ROOF CONSTRUCTION AND SECONDARY FRAMING: 1 HOUR

CHAPTER 9 - FIRE PROTECTION SYSTEMS

AUTOMATIC SPRINKLER SYSTEMS: REQUIRED PER SEC. 903.2.7
FIRE ALARM AND DETECTION SYSTEMS: REQUIRED PER SEC. 907.2.7

CHAPTER 10 - MEANS OF EGRESS

TABLE 1004.1.2 - RESIDENTIAL 200 GROSS
TOTAL OCCUPANTS: 53

SHEET INDEX - GENERAL

DWG #	DRAWING NAME	ISSUED FOR	DATE
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	City Revision	12.30.24

SHEET INDEX - CIVIL

DWG #	DRAWING NAME	ISSUED FOR	DATE
1 OF 1	ALTA / NSPS LAND TITLE SURVEY	Conditional Zoning Review Response	11.06.24
C-1	LIGHTING PLAN	Conditional Zoning Review Response	11.06.24
C-2	LANDSCAPING PLAN	Conditional Zoning Review Response	11.06.24
C-3	LANDSCAPING DETAILS	Conditional Zoning Review Response	11.06.24
C-4	CONSTRUCTION DETAILS	Conditional Zoning Review Response	11.06.24

SHEET INDEX - ARCHITECTURAL

DWG #	DRAWING NAME	ISSUED FOR	DATE
A010	COMPOSITE SECOND AND THIRD FLOOR PLAN	Conditional Zoning Review Response	11.06.24
A030	COMPOSITE ROOF PLAN	City Revision	12.30.24
A301	EXTERIOR ELEVATIONS	City Revision	12.30.24
A302	EXTERIOR ELEVATIONS	City Revision	12.30.24
AS001	ARCHITECTURAL SITE PLAN	Conditional Zoning Review Response	11.06.24

NOTE:

THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

SHEET DESIGNATION

DRAWINGS ARE NUMBERED ACCORDING TO THE FOLLOWING CONVENTIONS:

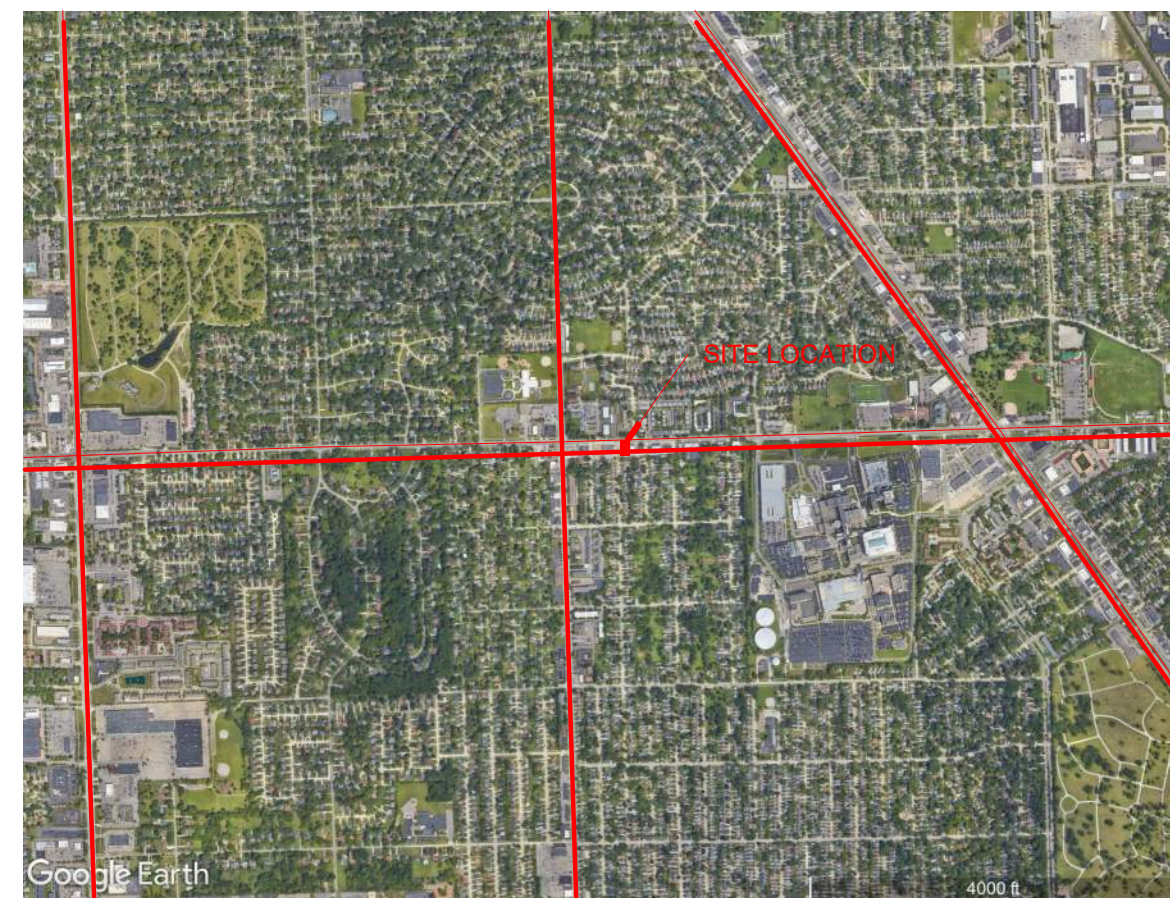
A001

DISCIPLINE DESIGNATOR

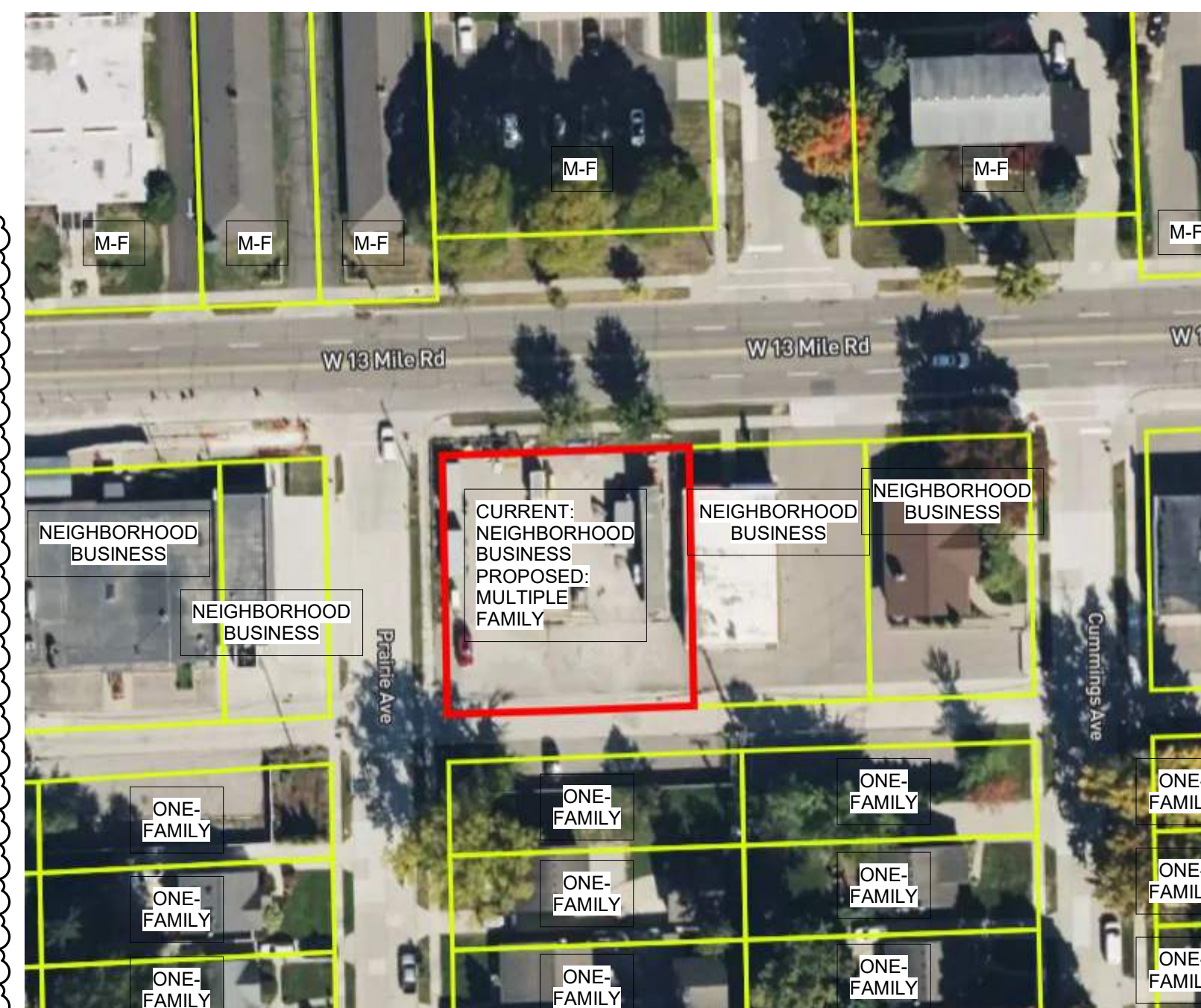
G GENERAL
LS LIFE SAFETY
C CIVIL
L LANDSCAPE
A ARCHITECTURAL

DRAWING TYPE DESIGNATOR

0 GENERAL LEGENDS
1 PLANS
2 REFLECTED CEILING PLANS
3 EXTERIOR ELEVATIONS
4 SECTIONS
5 VERTICAL CIRCULATION (PLANS & SECTIONS)
6 ENLARGED PLANS AND INTERIOR ELEVATIONS
7 INTERIOR AND MILLWORK DETAILS
8 FREE SECTION
9 DOOR AND WINDOW SCHEDULES AND DETAILS



LOCATION MAP:



ZONING MAP:

SYMBOL LEGEND

	ENLARGED CALLOUT TAG
	INTERIOR ELEVATION TAG
	EXTERIOR ELEVATION TAG
	DETAIL NUMBER
	VIEW TITLE
	VIEW SCALE
	SHEET NUMBER
	ROOM TAG
	LEVEL REFERENCE
	DATUM WORKPOINT
	COLUMN GRIDS
	LETTERS DESIGNATE VERTICAL COLUMN LINES
	SQUARE DESIGNATE EXISTING COLUMN GRID
	DOOR TAGS
	NEW DOOR TAG DESIGNATION
	EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)
	PARTITION TAG
	KEYNOTE TAG
	EQUIPMENT TAG
	SHEET REF FOR DRAWING CONTINUATION
	MATCH LINE

ABBREVIATION LEGEND

& L @	AND ANGLE ANGLE AT	€ or ⌀ Ø ±	CENTERLINE DIAMETER PLUS OR MIN
ACCESS. ACOUS. ACT A.D. ADJ A.F.F. AL ANOD. ARCH. ASPH. BD BF BLDG. BLK'G. BOT. BR CAB. CEM. C.J. CLG C.F.M.F. C.O. CLO. CLR. COLUM. CONC. C.G. CORNER GUARD CONSTR. CONT. CORR. CORR. CPT C.T. C.TSK. C.W. D.F. DET. DIA. DIM. DN. D.O. DR. D.S. DWG. DWR. EA E.J. EL ELEC. ELEV. E.O.S./E.O.S. E.O.D./E.O.D. EP EPX EQ. EQPM E.W. EXIST. / EX EXP EXT. FA FD FON FE FEC FHC FIN FL F.O. F.O.S. FR FRP FRF FRT F.S. F&I FT FTG. FUR GA GALV. G.B. GFRC. GL. GYP. H.B. H.C. HDWD HDWE HM HORIZ. HR HGT INSUL IMP IMWP INT J.C. J.T. KIT. LAV LG L.L.V. LT LVT MAX MECH MTL MFR. MIN. MISC. M.O.	ACCESSIBILITY ACOUSTICAL ACOUSTICAL CEILING TILE AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR ALUMINUM ANODIZED ARCHITECTURAL or ARCHITECT ASPHALT BOARD BARRIER FREE BUILDING BLOCKING BOTTOM BRICK CABINET CEMENT CONTROL JOINT CEILING COLD FORMED METAL FRAMING CLEAN OUT CLOSET CLEAR COLUMN CONCRETE CORNER GUARD CONSTRUCTION CONTINUOUS CORRIDOR CORRUGATED CARPET CERAMIC TILE COUNTER SUNK CURTAIN WALL CURTAIN WALL DRINKING FOUNTAIN DETAIL DIA. DIMENSION DOWN DOOR OPENING DOOR DOWN SPOUT DRAWING DRAWER EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EDGE OF SLAB EDGE OF DECK ELECTRICAL PANEL EPOXY EQUAL EQUIPMENT EACH WAY EXISTING EXPOSED EXTERIOR FIRE ALARM FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FINISH FLOOR FACE OF FACE OF STUD FIREPROOF FRAME FIBERGLASS REINFORCED PANEL FIRE RETARDANT TREATED FULL SIZE FURNISHED & INSTALLED FOOT or FEET FOOTING FURRING GAUGE GALVANIZED GRAB BAR GLASS FIBER REINFORCED CONCRETE GLASS GYPSUM HOSE BIBB HOLLOW CORE HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT INSULATION INSULATED METAL PANEL INSULATED METAL WALL PANEL INTERIOR JANITOR'S CLOSET JOINT KITCHEN LAVATORY LENGTH LONG LEG VERTICAL LIGHT LUXURY VINYL TILE MAXIMUM MECHANICAL METAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING	N NIC NOM. NTS O/C OFC OPNG OPP OVFD PL PLM PLAS PLAS PNT PLWWD PREFAB PFN PROJ PT R RCP R.C. RD REIN REQD RESIL RFG RM R.S. SAN SC SCHED SHT SIM SPEC SQ ST.STL. SS ST STD STL STN STOR STRUCT SUSP SYM T T&B TERR. T.O.C. T&G THK THRES. T.O.P. TA TV T.O.W. TOS / T.O.S. TYP. U/C UN.O. U.SK. V.B. VCT VERT. VEST V.F. V.I.F. W W/ WB WC WD W/O WR WSCT. WT. W.W.F.	NORTH NOT IN CONTRACT NOMINAL NOT TO SCALE ON CENTER OFFICE OPENING OPPOSITE OVERFLOW DRAIN PLATE PLASTIC LAMINATE PLASTER PAINT PLYWOOD PREFABRICATED PREFINISH or PREFINISHED PROJECTION POINT RISER REFLECTED CEILING PLAN ROOF CONDUCTOR ROOF DRAIN REINFORCING REQUIRED RESILIENT ROOFING ROOM ROOM SUMP SAINTMARY SOLID CORE SCHEDULE SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL SOLID SURFACE STONE STANDARD STEEL STAIN STORAGE STRUCTURAL or STRUCTURE SUSPENDED SYMMETRICAL TREAD TOP AND BOTTOM TERRAZZO TOP OF CURB TONGUE AND GROOVE THICK THRESHOLD TOP OF PARAPET TOILET ACCESSORY TELEVISION TOP OF WALL TOP OF STEEL TYPICAL UNDERCUT UNLESS NOTED OTHERWISE UTILITY SINK VAPOR BARRIER VINYL COMPOSITION TILE VERTICAL VESTIBULE VINYL FLOORING VERIFY IN FIELD WIDTH WITH WALL BASE WATER CLOSET WALLCOVERING WOOD WITHOUT WATER RESISTANT WAINSCOT WEIGHT WELDED WIRE FABRIC



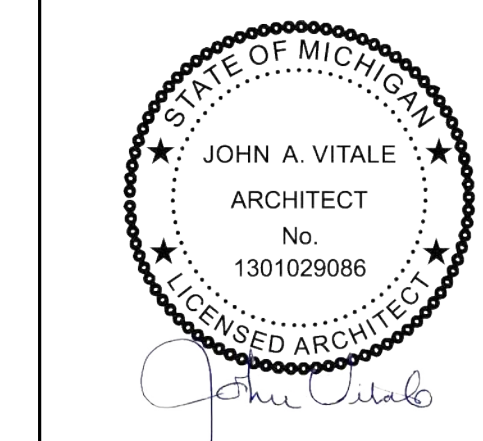
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27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
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F. 248.546.8454
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Consultants

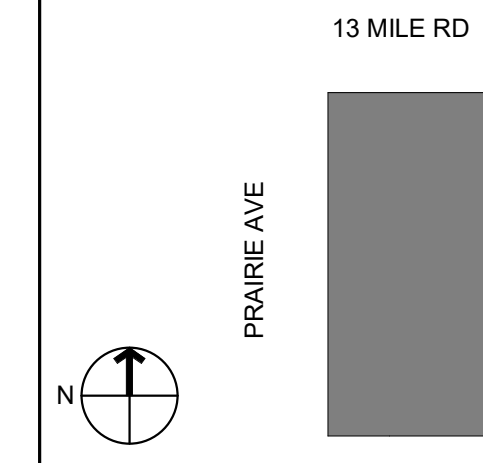
Seal:



Project:
13 STRATA, LLC.
MULTI-FAMILY

13 MILE AND PRAIRIE AVE

Key Plan:



Issued for:

Site Plan Approval	08.06.24
Conditional Zoning Review Response	09.24.24
Conditional Zoning Review Response	11.06.24
City Revision	12.30.24

Drawn by:
JGB, JPM
Checked by:
JAV

Sheet Title:
COVER SHEET, GENERAL INFORMATION, DRAWING INDEX

Project No.:
2024.019

Sheet No.:
G001

SYMBOL DESCRIPTION

	BUILDING
	CONCRETE SIDEWALK / MAT
	BRICK PAVERS
	ASPHALT / CONCRETE CURB
	DEPRESSED CURB
	PROPERTY LINE
	EASEMENT LINE
	ADJACENT PROPERTY LINE
	MAJOR ARM LIGHT POLE
	POLE
	LIGHT POLE
	SIGNS
	WATER VALVE
	GAS VALVE
	FIRE HYDRANT
	DRAIN
	INLET
	MAN HOLE
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	UNDERGROUND GAS LINE
	UNDERGROUND WATER LINE
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND FIBER OPTIC LINE
	UNDERGROUND ELEC LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	GRADE SPOT SHOT
	TOP OF CURB SHOT
	BOTTOM OF CURB SHOT
	TOP OF WALL SHOT
	BOTTOM OF WALL SHOT
	GAS METER
	CLEAN OUT
	IRON PIN
	BENCHMARK
	DETECTABLE WARNING STRIP
	P.O.B.
	POINT OF BEGINNING
	MEASURED
	PLATTED

SURVEY NOTES:

- THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED ON JULY 11, 2024, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY IS VALID ONLY WHEN A DIGITAL SEAL IS AFFIXED HERETO.
- THE SURVEYOR IS NOT QUALIFIED TO IDENTIFY ENVIRONMENTAL CONDITIONS OR THE PRESENCE OR ABSENCE OF WETLANDS.
- THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND OR SANITARY INVERTS ARE DEPICTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES. BEFORE ANY EXCAVATIONS ARE BEGUN, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- BEARINGS ARE REFERENCED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM (NAD83) SOUTH ZONE. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), ESTABLISHED VIA RTK GRS OBSERVATIONS UTILIZING MICHIGAN DEPARTMENT OF TRANSPORTATION CONTINUOUSLY OPERATING REFERENCE SYSTEM (MDOT CORS).
- BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) ARE UNKNOWN.
- BENCHMARK #1 = MAG NAIL = 717.36' (NAVD88), SET IN ASPHALT, NORTH SIDE OF PUBLIC ALLEY.
BENCHMARK #2 = MAG NAIL = 718.90' (NAVD88), SET IN ASPHALT, SOUTH SIDE OF PUBLIC ALLEY.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X (UNSHADED) (AREA OF MINIMAL FLOOD HAZARD) OF THE FLOOD INSURANCE RATE COMMUNITY NO. 260178, MAP NUMBER: 26125C0539F WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006.

SURVEY REFERENCES:

- A TITLE COMMITMENT ISSUED BY TITLE CONNECT LLC, ISSUING OFFICE FILE NUMBER: TC13-113734, COMMITMENT DATE: JUNE 10, 2024.
- A MAP ENTITLED "UNDERGROUND UTILITY AND IMPROVEMENTS INCLUDING UNDERGROUND FEED STREET LIGHTING, TRAFFIC SIGNALS, TELEPHONE, CABLE TV, & D.E. SECONDARY FEED LINES", 13 MILE ROAD IMPROVEMENTS (GREENFIELD RD. TO WOODWARD AVE.), PROJECT NO. STP 1993(001), SHEET NO. 25 OF PART OF THE NORTHWEST 1/4 OF SECTION 7, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DATED: APRIL 1998, PREPARED BY THE CITY OF ROYAL OAK.
- A MAP ENTITLED "SECTIONAL MAP OF ROYAL OAK, COMBINED SEWERS" OF PART OF NORTHWEST 1/4 OF SECTION 7, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP, OAKLAND COUNTY, DATED: DECEMBER 08, 1999, AND RECORDED IN THE OAKLAND COUNTY REGISTER OF DEEDS OFFICE FILE NO. 13-3, PREPARED BY THE CITY OF ROYAL OAK, MICHIGAN, ENGINEERING DEPARTMENT.
- A MAP ENTITLED "PRAIRIE LAWN ACRES NO. 3", OF LOTS 100 TO 110 AND 155 INCLUSIVE OF PRAIRIE LAWN ACRES NO. 1 BEING A SUBDIVISION OF PART OF NORTHWEST 1/4 OF SECTION 7, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW CITY OF ROYAL OAK), OAKLAND COUNTY, MICHIGAN, DATED: JUNE 22, 1925, AND RECORDED IN THE OAKLAND COUNTY REGISTER OF DEEDS OFFICE IN LIBER 37 OF PLATS, PAGE 35.

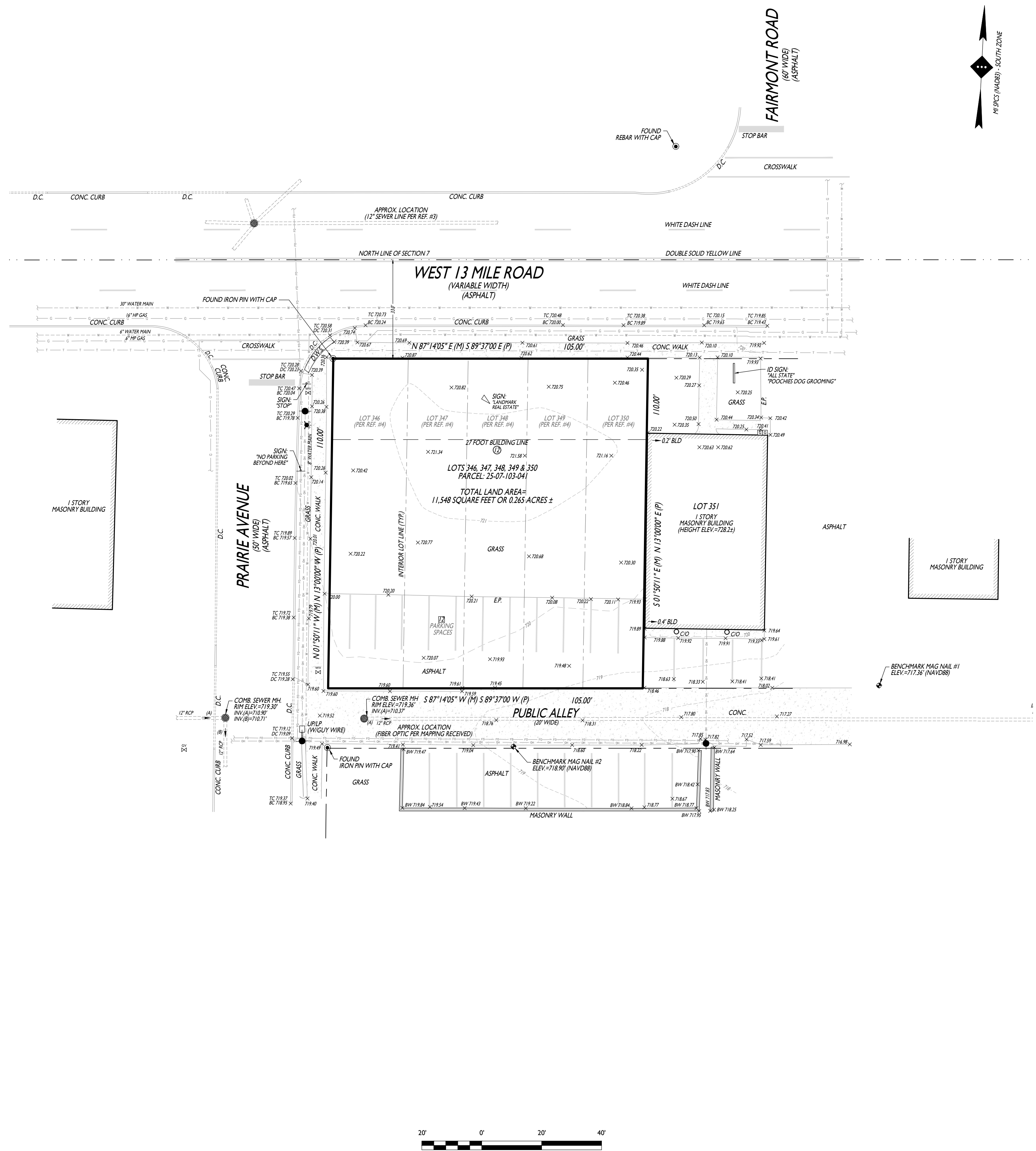
EXISTING STRIPED PARKING	AREA NOTES
REGULAR = 12 SPACES	TOTAL LAND AREA =
HANDICAP = 0	11,548 SQUARE FEET OR 0.265 ACRES ±
TOTAL = 12 SPACES	

EXHIBIT "A" - PARCEL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF OAKLAND, STATE OF MICHIGAN AND IS DESCRIBED AS FOLLOWS:
LAND SITUATED IN THE CITY OF ROYAL OAK, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
LOTS 346, 347, 348, 349 AND 350, PRAIRIE LAWN ACRES NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 37 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS.
BEING THE SAME PROPERTY AS DESCRIBED IN AN ALTA COMMITMENT FOR TITLE INSURANCE PREPARED BY TITLE CONNECT LLC AS ISSUING AGENT FOR FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: TC13-113734, COMMITMENT DATE: JUNE 10, 2024.

SCHEDULE B, PART II - EXCEPTIONS:

- COVENANTS, CONDITIONS AND RESTRICTIONS AND OTHER PROVISIONS AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 419, PAGE 205; LIBER 345, PAGE 191, OAKLAND COUNTY RECORDS, PLEASE BE ADVISED THAT ANY PROVISION CONTAINED IN THIS DOCUMENT, OR IN A DOCUMENT THAT IS ATTACHED, LINKED, OR REFERENCED IN THIS DOCUMENT, THAT UNDER APPLICABLE LAW ILLEGALLY DISCRIMINATES AGAINST A CLASS OF INDIVIDUALS BASED UPON PERSONAL CHARACTERISTICS SUCH AS RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, FAMILIAL STATUS, DISABILITY, NATIONAL ORIGIN, OR ANY OTHER LEGALLY PROTECTED CLASS, IS ILLEGAL AND UNENFORCEABLE. (RESTRICTIONS BLANKET IN NATURE, NOT SHOWN).
 - SUBJECT TO THE EASEMENTS, RESTRICTIONS AND RESERVATIONS CONTAINED IN THE PRAIRIE LAWN ACRES NO. 3 PLAT RECORDED IN LIBER 37, PAGE(S) 35, OAKLAND COUNTY RECORDS (27 FOOT BUILDING LINE AS SHOWN ON PRAIRIE LAWN ACRES NO. 3 PLAT, SHOWN).
- AN ALTA COMMITMENT FOR TITLE INSURANCE PREPARED BY TITLE CONNECT LLC AS ISSUING AGENT FOR FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING OFFICE FILE NUMBER: TC13-113734, COMMITMENT DATE: JUNE 10, 2024.



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ALTA / NSPS LAND TITLE SURVEY

MAP OF SURVEY OF:
SECTION 7, TOWN 1 NORTH, RANGE 11 EAST
PARCEL NUMBER: 25-07-103-041
VACANT - WEST 13 MILE ROAD
CITY OF ROYAL OAK
OAKLAND COUNTY, MICHIGAN

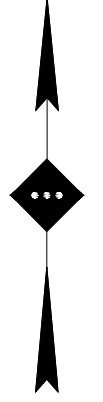
ISSUE	DATE	DRAFT BY	CHECK BY	FIELD DATE	FIELD CREW	DESCRIPTION
I	07/25/24	MVZ	AG	07/11/24	JN	FOR ISSUE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8, 9 & 13 OF TABLE A THEREOF.
THE FIELDWORK WAS COMPLETED ON JULY 11, 2024.

ROBERT E. HORNYAK, PS
MICHIGAN PROFESSIONAL SURVEYOR No. 4001044286

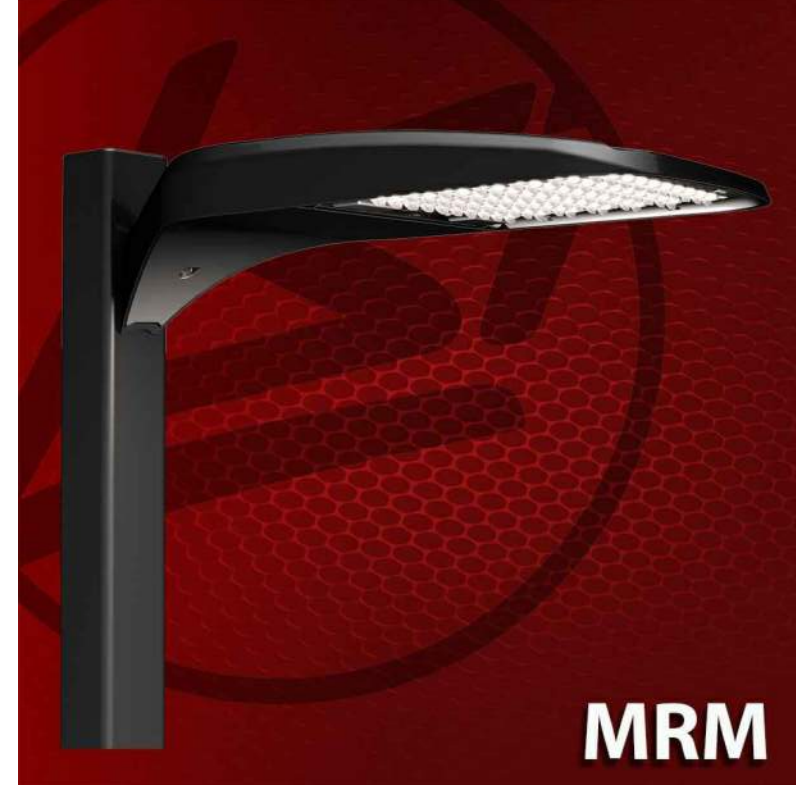
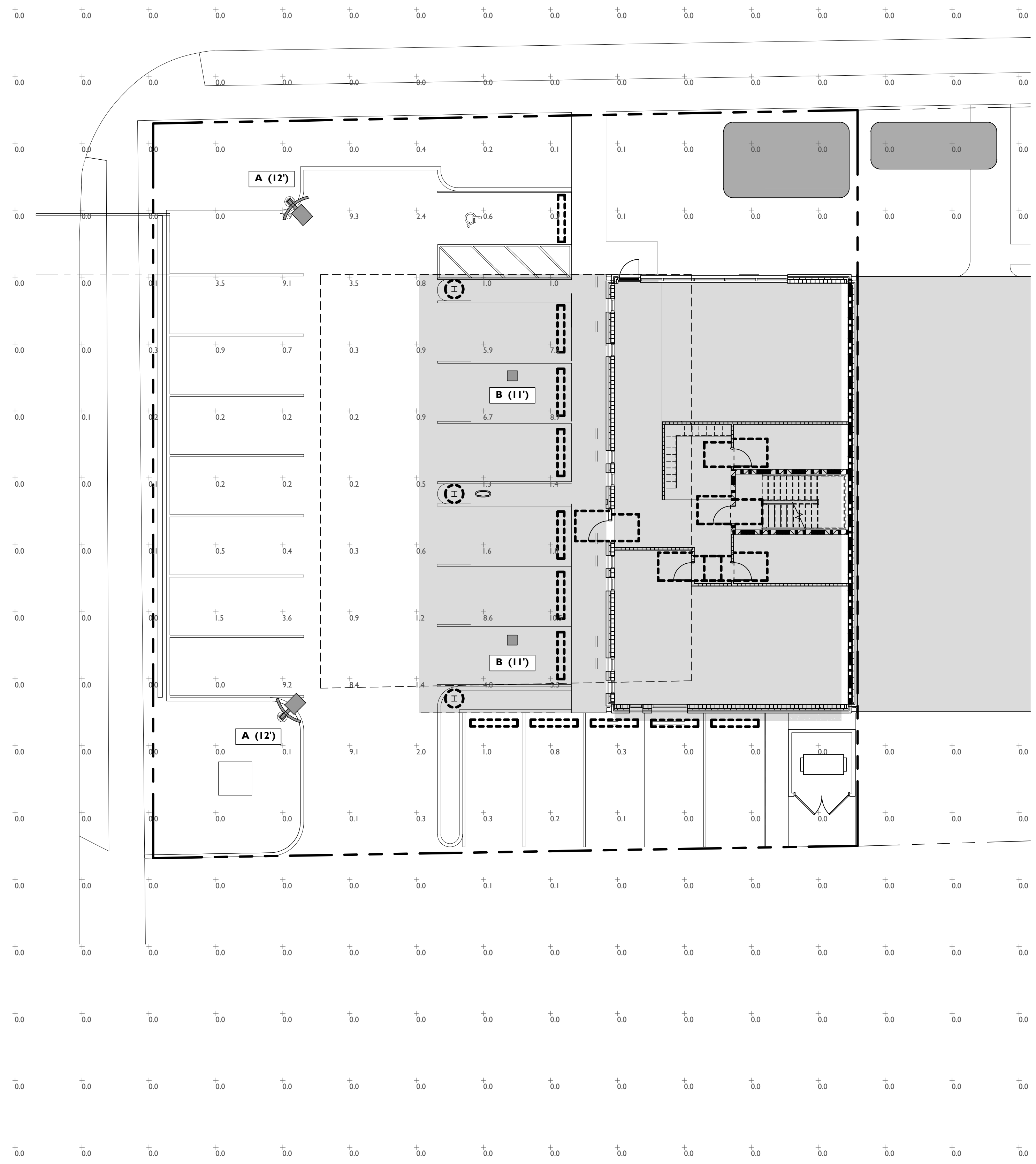
Z:\PROJECTS\2024\ROYAL OAK\13 MILE ROAD\13 MILE ROAD - VACANT WEST 13 MILE ROAD - ALTA - NSPS - 240228 - 11.DWG

PROPOSED LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	CONTROL	IES FILE
	A	2	MIRADA MEDIUM OUTDOOR LED AREA LIGHT - 7,000 LUMEN PACKAGE	TYPE FTA	0.9	LSI LIGHTING	-	MRM-LED-07L-SIL-FTA-40-70CRI-IL
	B	1	XSPS LED SOFFIT LIGHT - 4,000 LUMEN PACKAGE	TYPE S	0.9	LSI LIGHTING	-	XSPS-S-LED-HO-NW-DPL



LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 770-96.B(3)(c)	MAXIMUM ILLUMINATION AT RESIDENTIAL PROPERTY LINE = 0.1 FC	0.1 FC
§ 770-96.B(3)(c)	MAXIMUM ILLUMINATION AT NON-RESIDENTIAL PROPERTY LINE = 0.5 FC	0.3 FC
§ 770-96.B(3)(e)	MAXIMUM ILLUMINATION ON SITE = 10.0 FC	9.3 FC
§ 770-96.B(3)(e)	MAXIMUM MOUNTING HEIGHT = 20 FT	12 FT

SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+XX	PROPOSED LIGHTING INTENSITY (FOOT-CANDLES)
	PROPOSED AREA LIGHT
	PROPOSED RECESSED CEILING LIGHT

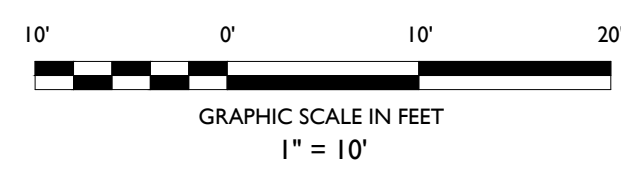


FIXTURE A



FIXTURE B

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



		CONDITIONAL ZONING REVIEW RESPONSE FOR PERMIT		DESCRIPTION	
DATE	ISSUE	NB	NB	BY	
11/09/2024	3				
07/24/2024	2				
08/06/2024	1				

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SITE IMPROVEMENT PLANS

ROYAL OAK MULTI-FAMILY

PROPOSED LIGHTING AND LANDSCAPING

PROJECT ID: 2507103041
PRAIRIE AVENUE AND 13 MILE ROAD
CITY OF ROYAL OAK
OAKLAND COUNTY, MICHIGAN

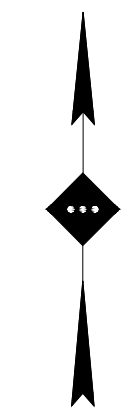
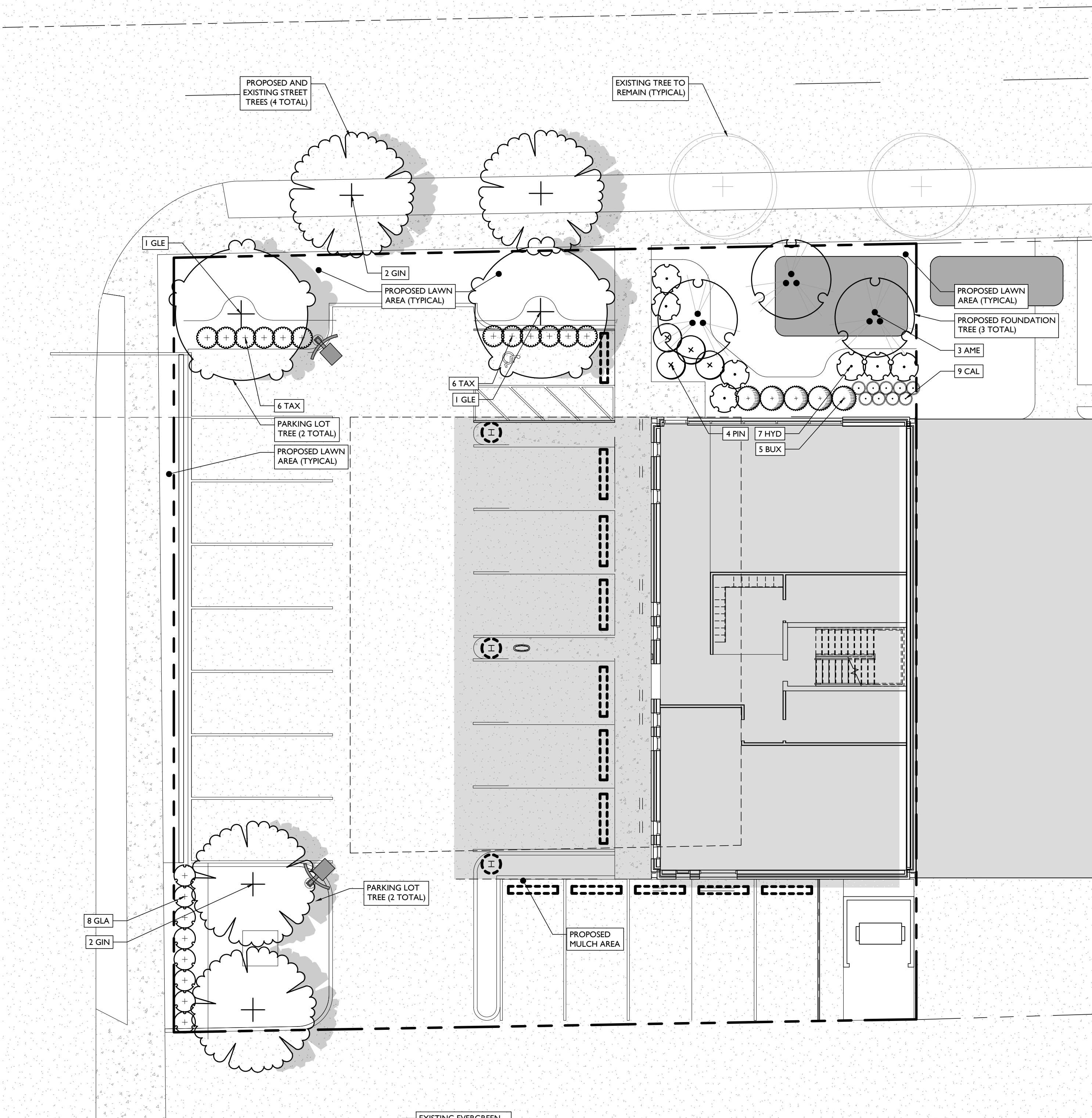
STONEFIELD
engineering & design

SCALE: 1" = 10' PROJECT ID: DET-240228

TITLE:
LIGHTING PLAN

DRAWING:
C-1

V:\0725\042124\2024 STUCKY\WYALE - WACANT WEBT 13 MILE ROAD, ROYAL OAK, MI\CAD\PROP\042124-10-LIGHT.DWG



PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	AME	3	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY MULTI-TRUNK	6' - 7' HT	B&B
	GIN	4	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	2.5" - 3" CAL	B&B
	GLE	2	GLEDISIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2.5" - 3" CAL	B&B
SHRUBS						
	HYD	7	HYDRANGEA PANICULATA 'WIMS RED'	FIRE AND ICE PANICLE HYDRANGEA	24" - 30"	POT
EVERGREEN SHRUBS						
	BUX	5	BUXUS SINICA INSULARIS 'WINTERGREEN'	WINTERGREEN KOREAN BOXWOOD	24" - 30"	POT
	GLA	8	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24" - 30"	POT
	PIN	4	PINUS MUGO PUMILIO	DWARF MUGO PINE	24" - 30"	POT
	TAX	12	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	24" - 30"	POT
GRASSES						
	CAL	9	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GAL.	POT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 770-90.D(1) § 770-90.D(2) § 770-90.D(3)	NEIGHBORHOOD BUSINESS ZONE: SCREENING BETWEEN USES: RESIDENTIAL TO MULTIPLE-FAMILY RESIDENTIAL EVERGREEN TREES AND SHRUBBERY TO BE PROVIDED WALL OF FENCE SHALL BE PROVIDED WALL TO BE PLACED ON THE LOT LINE	WALL TO REMAIN (EN) WALL TO REMAIN COMPLIES, WALL TO REMAIN
§ 770-90.E(1)(a)	LANDSCAPING ISLAND STANDARDS: THERE SHALL NOT BE MORE THAN 16 CONTINUOUS PARKING SPACES PARKING LOT TREES: 1 TREE FOR EVERY 8 PARKING SPACES (30 SPACES)/(1 TREE / 8 SPACES) = 4 TREES	COMPLIES 4 TREES
§ 770-90.E(2)(b)	ROW PARKING SCREENING: OFF-STREET PARKING SHALL BE SCREENED VIA A 30" BERM, WALL OR COMBINATION OF FENCING AND LANDSCAPING	COMPLIES; WALL PROVIDED
§ 770-90.F(1)	FRONT YARD LANDSCAPE BUFFER: 1 TREE FOR EVERY 30 LF OF FRONTAGE PRAIRIE AVENUE: 110 LF (110 LF)/(1 TREE / 30 FT FRONTAGE) = 4 TREES 13 MILE ROAD: 105 LF (105 LF)/(1 TREE / 30 FT FRONTAGE) = 4 TREES	0 TREES (W) 4 TREES
§ 770-90.G	FOUNDATION LANDSCAPING: 1 ORNAMENTAL TREE PER 30 LF (145 LF)/(1 TREE / 30 FT) = 5 TREES 6 SHRUBS PER 30 LF (145 FT)/(6 SHRUBS / 30 FT) = 29 SHRUBS LANDSCAPE AREAS SHALL BE A MINIMUM OF 6 FT IN WIDTH	3 TREES (W) 29 SHRUBS COMPLIES
§ 770-90(G)	MINIMUM LANDSCAPE AREA: 10% OF SITE AREA (11,557 SF)/(0.10) = 1,158 SF	2,202 SF

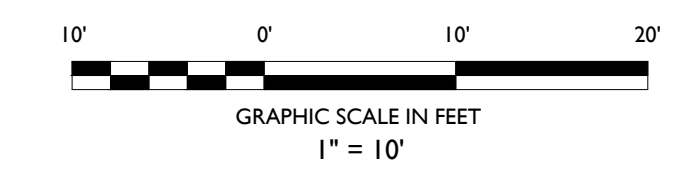
(EN) EXISTING NONCONFORMITY
(W) WAIVER



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LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



ISSUE	DATE	BY	DESCRIPTION
3	11/09/2024	NB	CONDITIONAL ZONING REVIEW RESPONSE
2	09/24/2024	NB	CONDITIONAL ZONING REVIEW RESPONSE
1	08/06/2024	NB	FOR PERMIT

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555 S Old Woodward Avenue, Royal Oak, MI 48009
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SITE IMPROVEMENT PLANS

ROYAL OAK MULTI-FAMILY

PROPOSED LIGHTING AND LANDSCAPING

PID: 2507103041
PRAIRIE AVENUE AND 13 MILE ROAD
CITY OF ROYAL OAK
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID
LICENSED PROFESSIONAL ENGINEER
MICHIGAN LICENSE NO. 001029428
LICENSE EXPIRES 12/31/2025

STONEFIELD
engineering & design

SCALE: 1" = 10' PROJECT ID: DET-240228

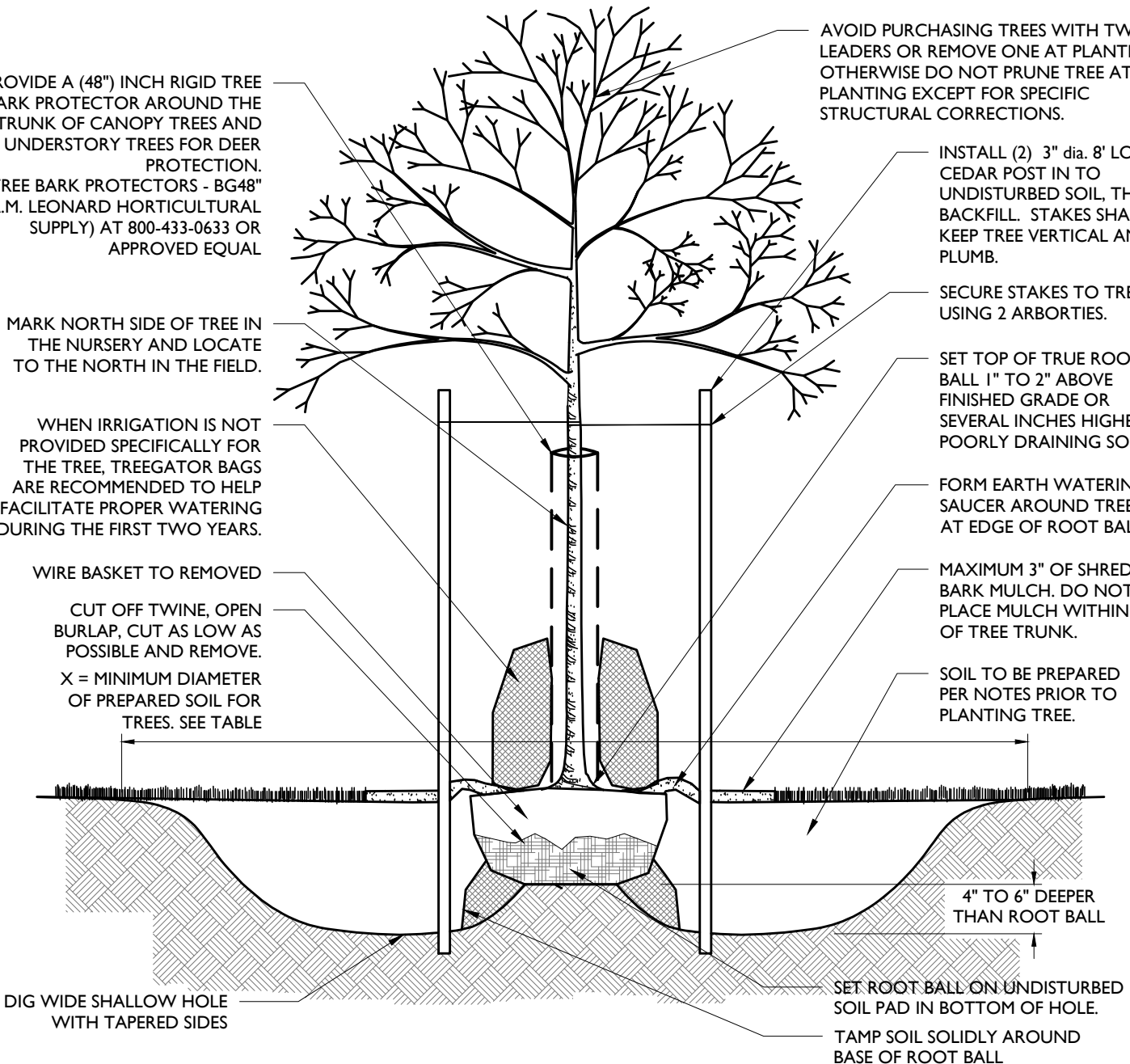
TITLE:
LANDSCAPING PLAN

DRAWING:
C-2

V:\072024\DET-240228 STUCKY VITALE - WACANT WEST 13 MILE ROAD, ROYAL OAK, MI\CAD\072024\072024-02-BL-IND-01WAC

NOTES:

- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
• MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX

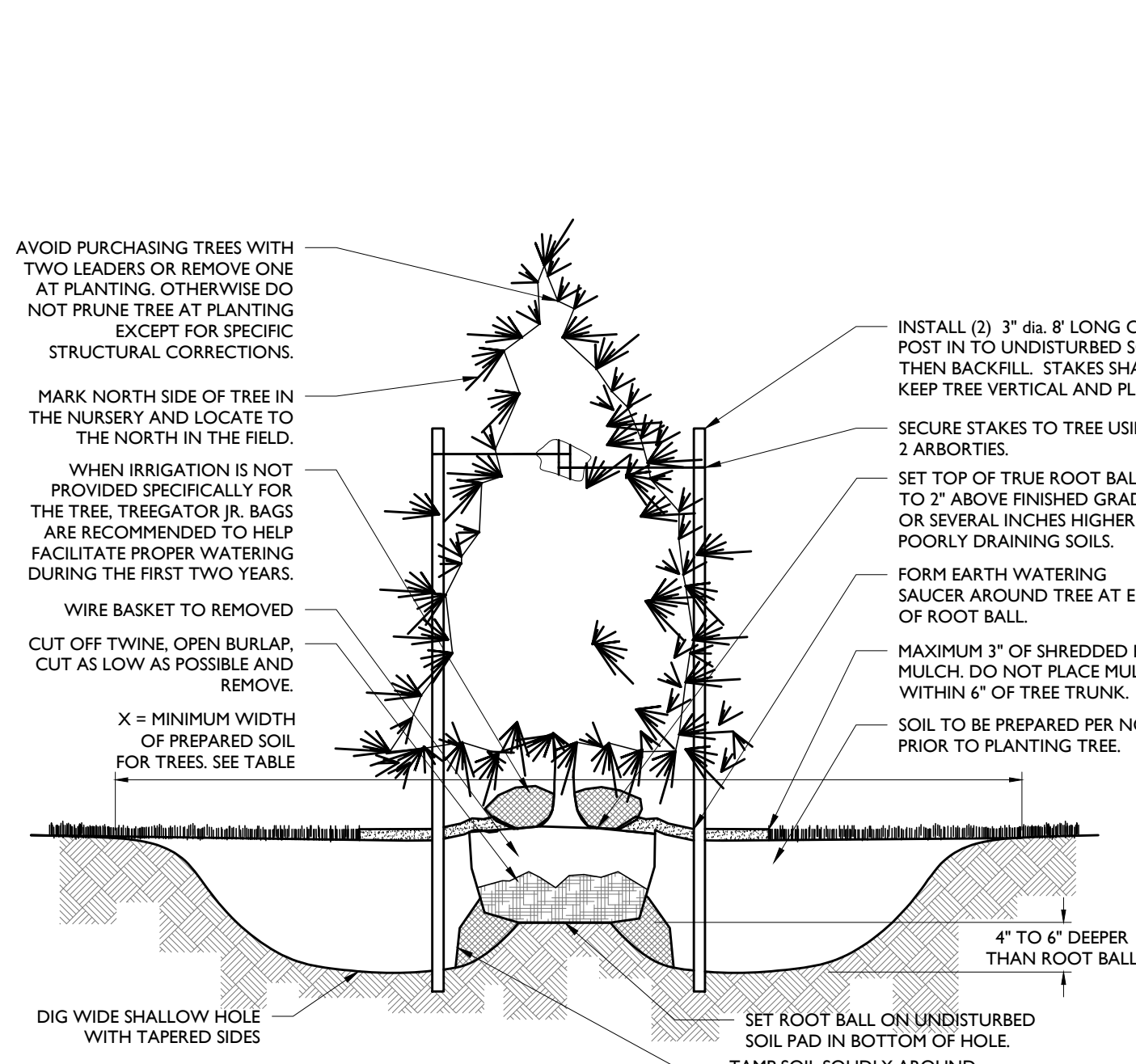


DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

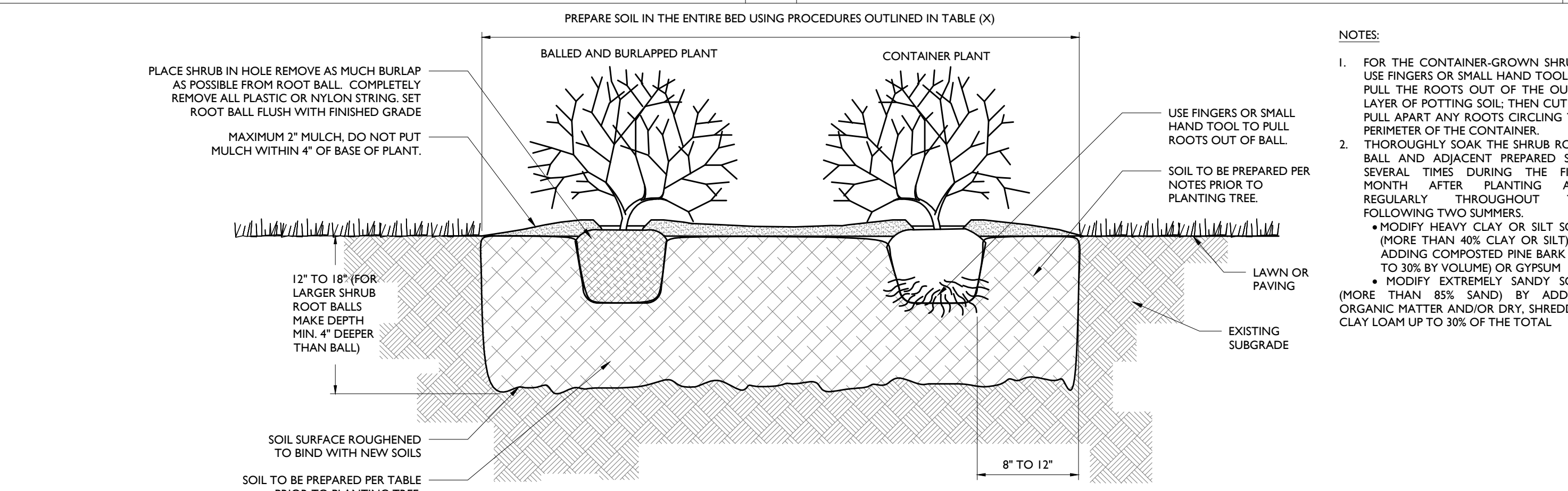
NOTES:

- 1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
• MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE



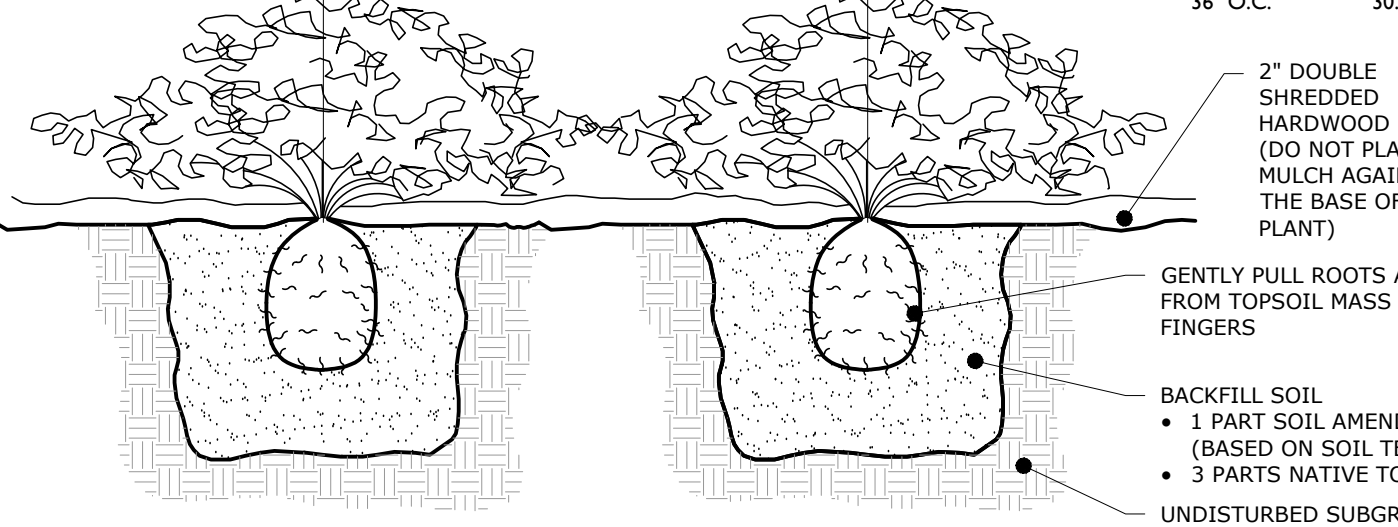
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

NOTES:

- 1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
2. SOIL AMENDMENTS:
• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
• MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS

SPACING CHART NOT TO SCALE table with columns for spacing and row, listing dimensions for different plant sizes.

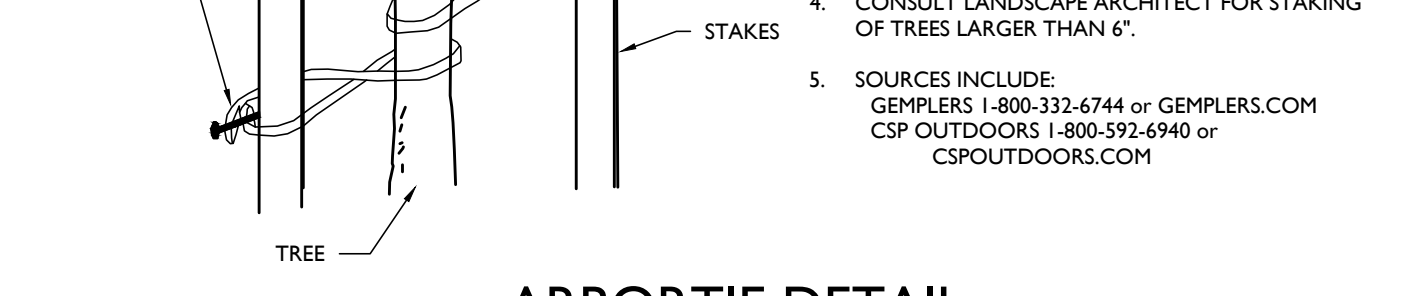


GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE

NOTES:

- 1. FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL...
2. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
• MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



ARBOR TIE DETAIL

NOT TO SCALE

GENERAL LANDSCAPING NOTES:

- 1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS...
2. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS.
3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
5. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE.
6. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- 1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING...
2. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE...
3. IN NO INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
• TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS.
• RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED...
• LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED...
4. SOIL PREPARATION AND MULCH NOTES:
1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY...
2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL...
3. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER...
4. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS...
5. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS...
6. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBED AREA OF THE SITE.
7. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION...
8. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE...
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE...
10. APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING...
11. DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING...
12. WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING...
13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT...
14. TILING THAT PRODUCES LARGE COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE...
15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

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- 1. LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY...
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15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

MYCROB TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL...

- DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER, MIX INTO THE BACKFILL...
• FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL...
• FOLIAR FEED: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM...

HEALTHY START MACRO TABS 12-8-8 table with columns for caliper and irrigation frequency.

IRRIGATION DURING ESTABLISHMENT table with columns for caliper, irrigation for vitality, and irrigation for survival.

- TABLE NOTES:
1. AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE...
2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES...
3. WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES...

PLANT QUALITY AND HANDLING NOTES:

- 1. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY.
4. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
6. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
7. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS.
8. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY.
9. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE...
10. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING...
11. IF ROCKS OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED...
12. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES...
13. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS: PLANTS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
14. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPORT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
ABIES CORNOLARIA, ACER BURGERIANUM, ACER RUBRUM, ACER SACCHARINUM, BETULA VARIETIES, CARPINUS VIRGINIANA, CEDRUS DEODARA, CELTIS VARIETIES, CERCIDIPHYLLUM VARIETIES, JUNIPERUS VIRGINIANA, KOELERUTERA PANICULATA, LIQUIDAMBAR VARIETIES, LIRIODENDRON VARIETIES, MALUS IN LEAF, NYSSA SYLVATICA, OSTRYA VIRGINIANA, PINUS NIGRA, PLATANUS VARIETIES, POPLULUS VARIETIES, PRUNUS VARIETIES, PYRUS VARIETIES, QUERCUS VARIETIES (NOT Q. PALUSTRIS), SALIX WEeping VARIETIES, SORBUS VARIETIES, TAXODIUM VARIETIES, TAXUS SP. REPANDENS, TILIA TOMENTOSA VARIETIES, ULMUS PARVIFOLIA VARIETIES, ZELKOVA VARIETIES

- 17. IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FINAL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION...
18. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY REMOVED...
19. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE...
20. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED...
21. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO...
22. MOW ALL GRASS AREAS AT REGULAR INTERVALS...
23. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR...
24. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD...
25. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT THE REQUIRED 90-DAY MAINTENANCE PERIOD...
26. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL...
27. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL...

PLANT MATERIAL GUARANTEE NOTES:

- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION...
2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL...
3. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST...
4. THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- 1. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED...
2. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR...
3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
4. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER...
5. PROTECT LAWY AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING...

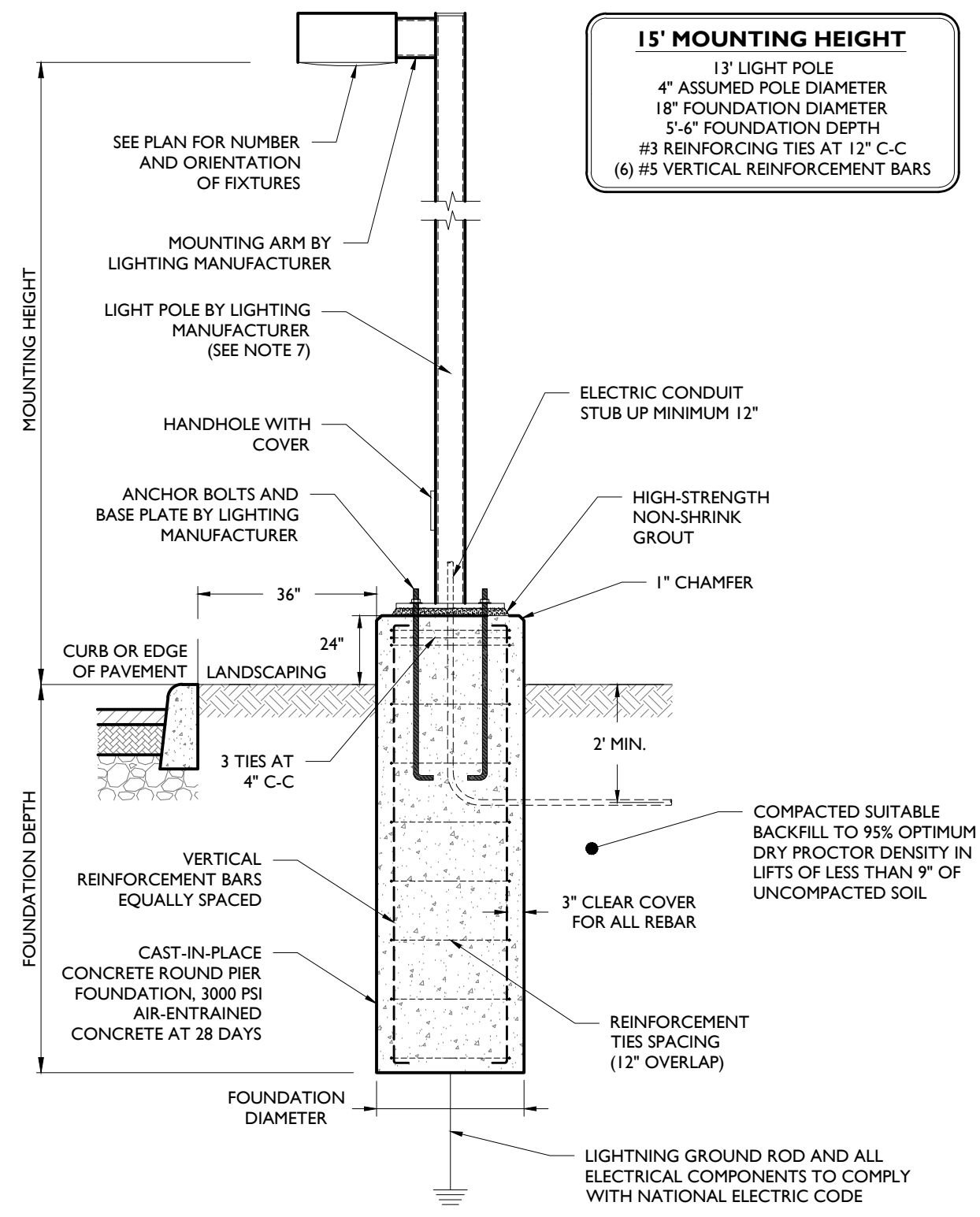
Site Improvement Plans table with columns for issue, date, and description, listing zoning review responses.

NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design contact information, including addresses in Rutherford, NJ and Princeton, NJ, and a phone number.

ROYAL OAK MULTI-FAMILY AND PROPOSED LIGHTING AND LANDSCAPING, including site improvement plans and a Michigan Professional Engineer seal.

STONEFIELD engineering & design logo and project details, including scale, project ID, title, and drawing number C-3.



LIGHT POLE INSTALLATION DETAIL

- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 85% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSIS/ASCE 7-99.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

Mirada Medium Outdoor LED Area Light

Have questions? Call us at (800) 436-7800

ORDERING GUIDE

TYPICAL ORDER EXAMPLE: **MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL**

Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation ²	Voltage	Driver
MRM - Mirada Medium Area Light	LED	9L - 9,000 lms 12L - 12,000 lms 18L - 18,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms 48L - 48,000 lms 55L - 55,000 lms Custom Lumen Packages ¹	SIL - Silicone	2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FIA - Forward Throw Automotive AM - Automotive Merchandise	(blank) - standard L - Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	DIM - 0-10V Dimming (0-10%)

Color Temp	Color Rendering	Finish	Options
50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT AMB - Phosphor Converted Amber ²	70CRI - 70 CRI	BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite	(Blank) - None HL - Integral Half Louver (Moderate Spill Light Cutoff) ² IL - Integral Louver (Sharp Spill Light Cutoff) ²

- Controls (Choose One)**
- (Blank) - None
 - Wireless Controls System**
 - ALSC** - AirLink Synapse Control System
 - ALSC02** - AirLink Synapse Control System with 12-20' Motion Sensor
 - ALSC04** - AirLink Synapse Control System with 20-40' Motion Sensor
 - ALBC1** - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height)³
 - ALBC2** - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height)³
 - Stand-Alone Controls**
 - EXT** - 0-10v Dimming leads extended to housing exterior
 - CR7P** - 7 Pin Control Receptacle ANSI C136.41⁴
 - IMSBTL1** - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)⁵
 - IMSBTL2** - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH)⁵
 - Button Type Photocells**
 - PC120** - 120V
 - PC208-277** - 208 - 277V
 - PC347** - 347V

LIGHT A SPECIFICATION SHEET



XSPS LED Soffit Light

ORDERING GUIDE

TYPICAL ORDER EXAMPLE: **XSPS S LED SS CW 120 GWT DFL**

Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Lens	Options
XSPS - LED Soffit	S - Symmetric	LED	SS - 4,000 Lumens HW - 3,000 Lumens VHO - 6,000 Lumens	CW - 5000K-6000K HW - 4000K-5000K WW - 3000K-3500K	120 - 120V 208 - 208V 240 - 240V 277 - 277V 347 - 347V	GWT - Gloss White	DFL - Diffused Acrylic Lens	CMT - Channel Bar Mounting Kit BB - Emergency Battery Pack ¹

1 - Emergency Battery Pack only available on the SS - 4000 lumen version (120, 208, 240 & 277V versions).

LIGHT B SPECIFICATION SHEET

DATE	ISSUE	BY	DESCRIPTION
11/09/2024	3	NB	CONDITIONAL ZONING REVIEW RESPONSE
07/24/2024	2	NB	CONDITIONAL ZONING REVIEW RESPONSE
08/06/2024	1	NB	FOR PERMIT

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

555 S Old Woodward Avenue, Royal Oak, MI 48009
Phone 248.247.1115

SITE IMPROVEMENT PLANS

ROYAL OAK MULTI-FAMILY

PROPOSED LIGHTING AND LANDSCAPING

PID: 2507103041
PRAIRIE AVENUE AND 13 MILE ROAD
CITY OF ROYAL OAK
OAKLAND COUNTY, MICHIGAN



STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: DET-240228

TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-4



STUCKY VITALE ARCHITECTS
 27172 WOODWARD AVENUE
 ROYAL OAK, MI 48067-0925
 P. 248.546.6700
 F. 248.546.8454
 WWW.STUCKYVITALE.COM

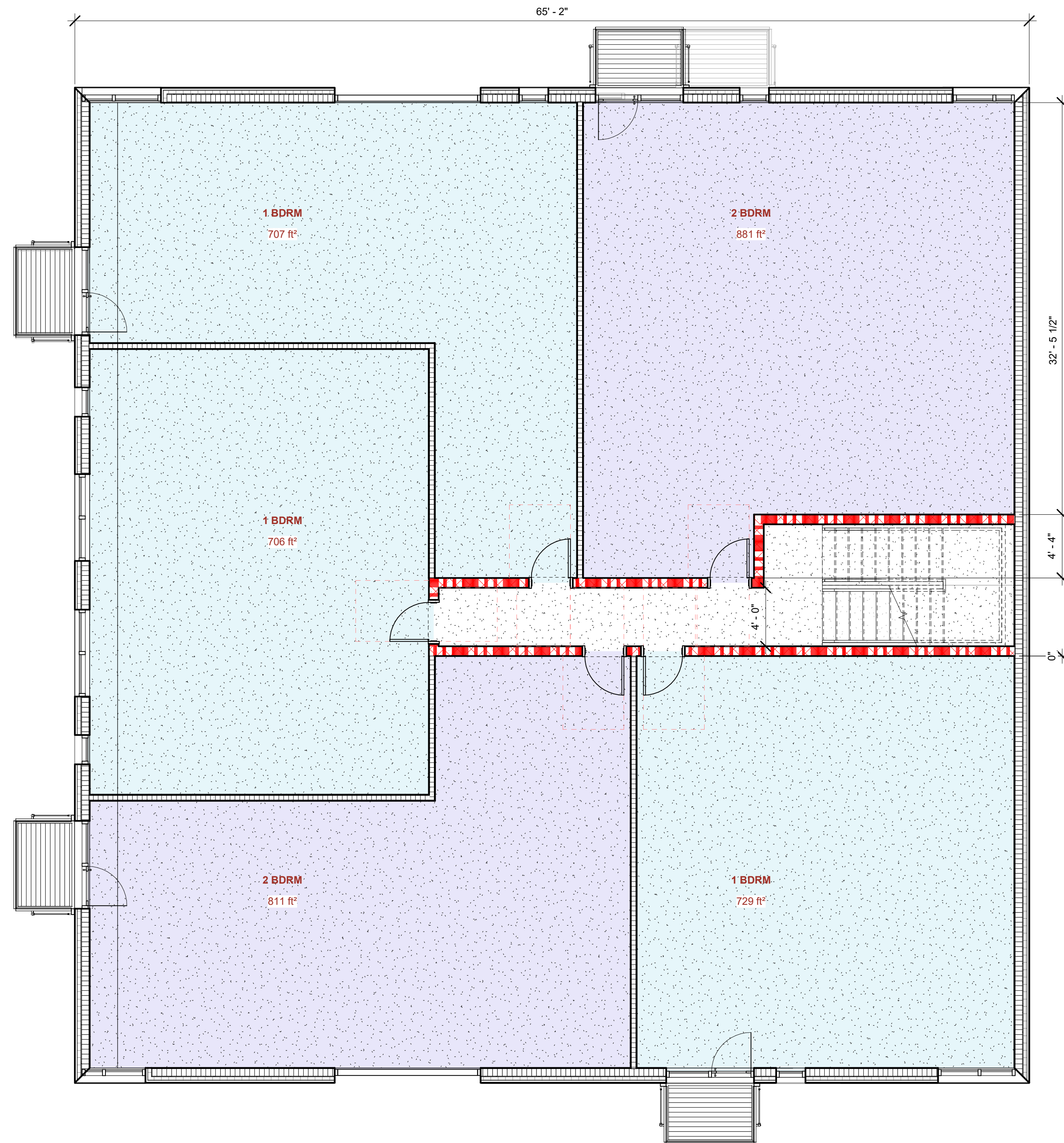
STATEMENT OF INTELLECTUAL PROPERTY:
 THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET OF DRAWINGS, IN WHOLE OR IN PART, HAS NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW. ALL RIGHTS RESERVED.

Room Legend

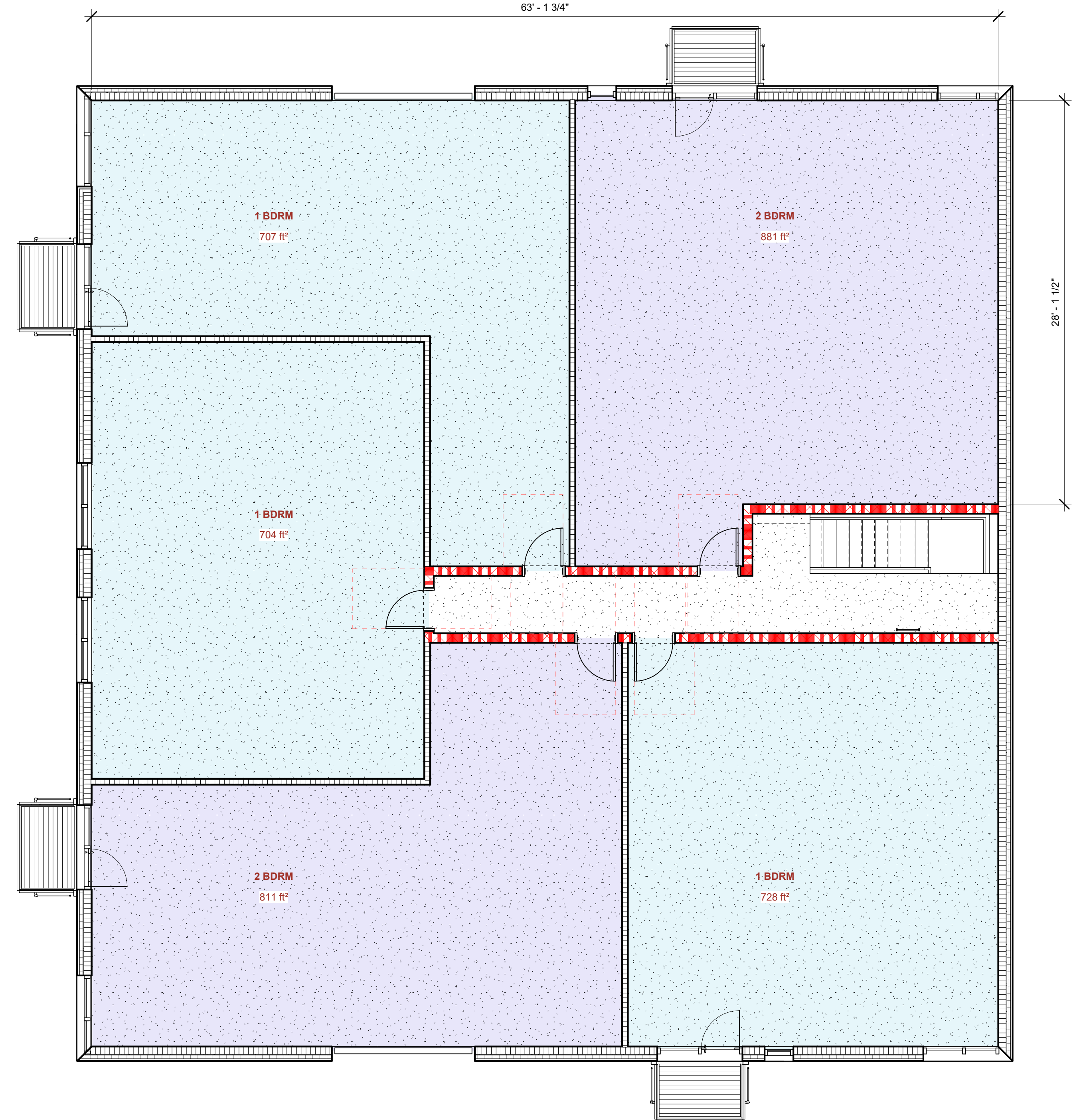
- 1 BDRM 3 UNITS
- 2 BDRM 2 UNITS

Room Legend

- 1 BDRM 3 UNITS
 - 2 BDRM 2 UNITS
- TOTAL: 12 UNITS**

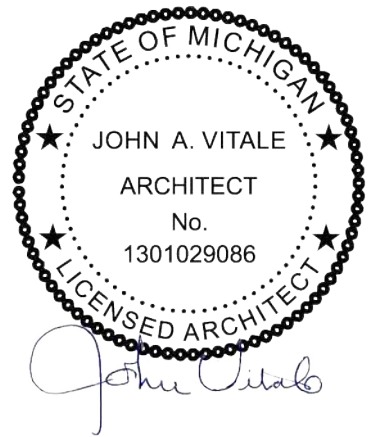


2 Level 2
 A010 3/16" = 1'-0"



3 Level 3
 A010 3/16" = 1'-0"

Seal:



Project :
 13 STRATA, LLC.
 MULTI-FAMILY
 13 MILE AND PRAIRIE
 AVE

Key Plan:



Issued for

Site Plan Approval	08.06.24
Conditional Zoning	09.24.24
Review Response	
Conditional Zoning	11.06.24
Review Response	

Drawn by :

JGB

Checked by :

Checker

Sheet Title :

COMPOSITE SECOND AND
 THIRD FLOOR PLAN

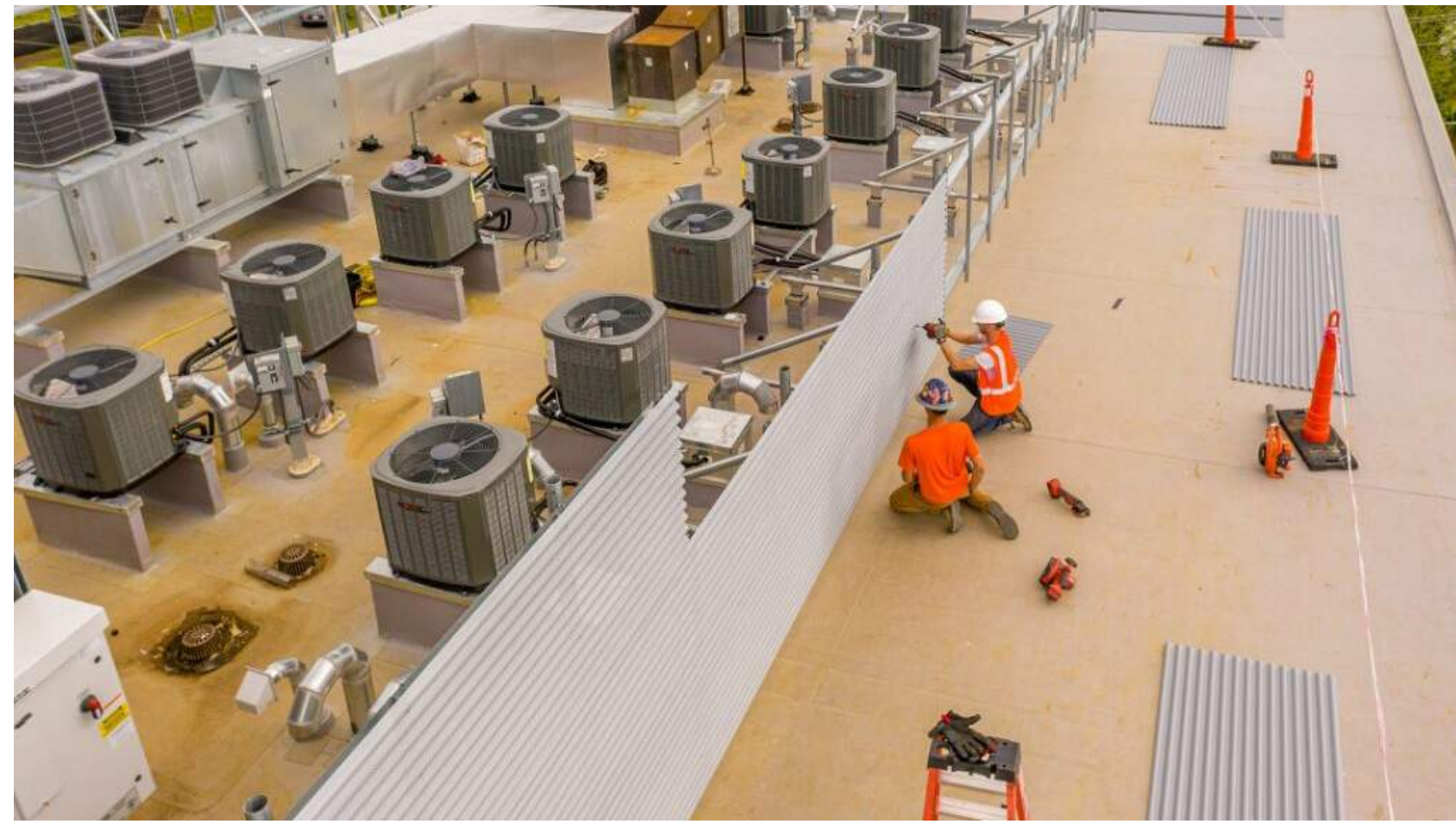
Project No. :

2024.019

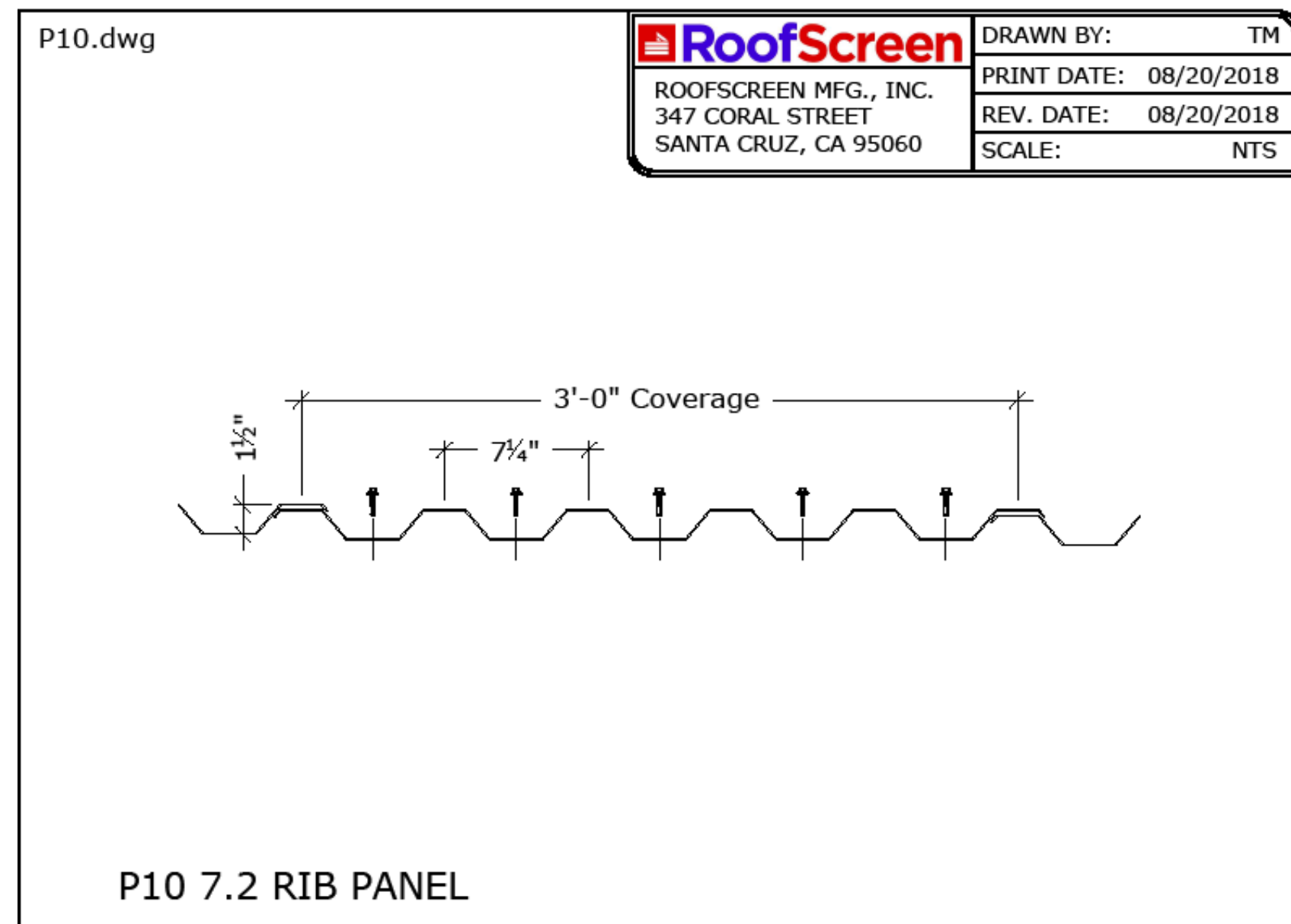
Sheet No. :

A010

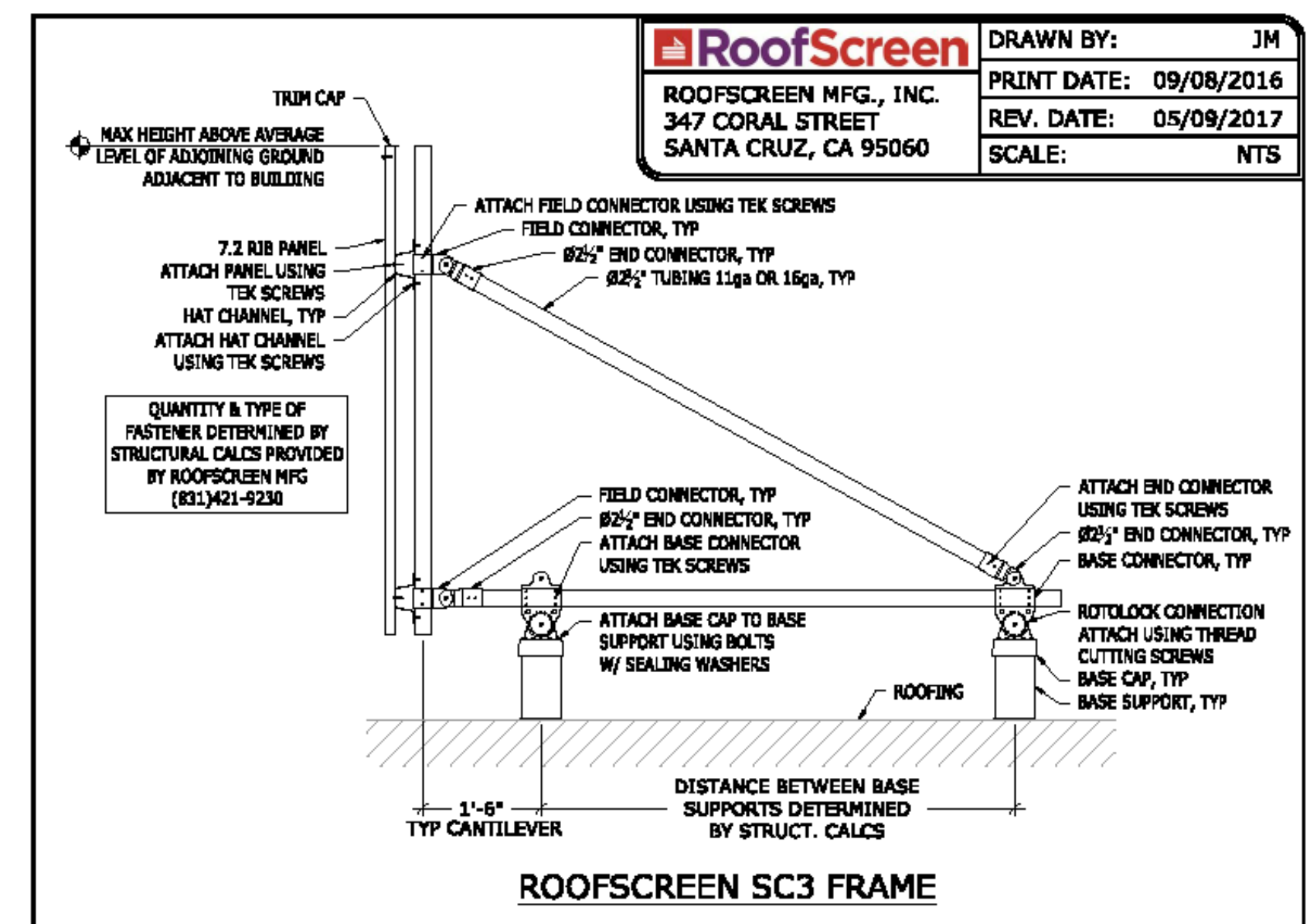
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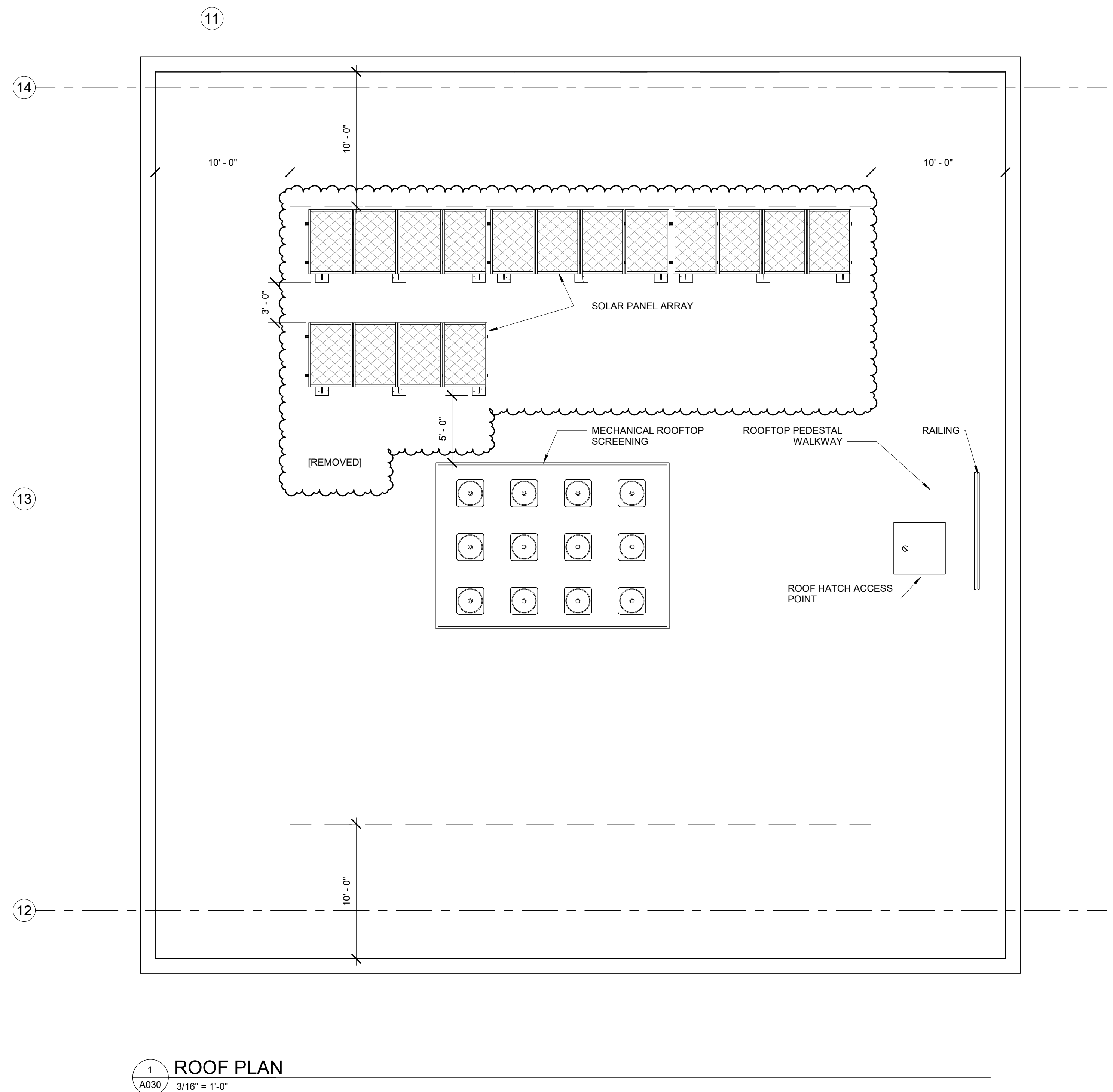
MECHANICAL SCREENING IMAGE:



MECHANICAL SCREENING PROFILE:



MECHANICAL SCREENING SECTION:

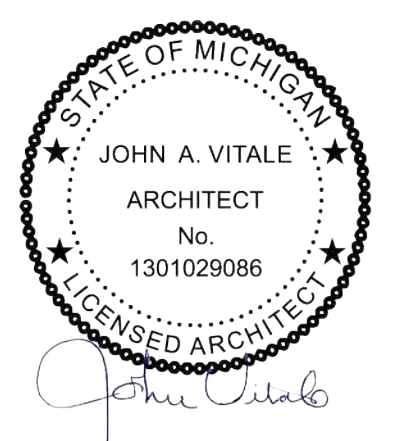


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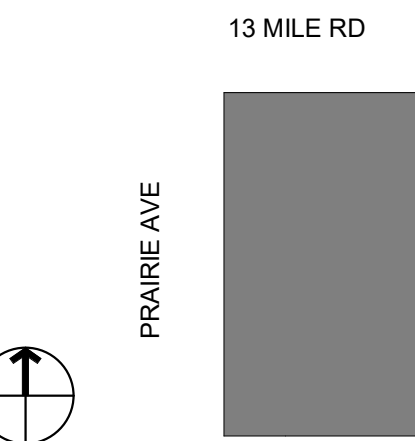
Seal:



Project :
13 STRATA, LLC.
MULTI-FAMILY

13 MILE AND PRAIRIE
AVE

Key Plan:



Issued for

Site Plan Approval	08.06.24
Conditional Zoning	09.24.24
Review Response	
Conditional Zoning	11.06.24
Review Response	
City Revision	12.30.24

Drawn by : JGB
Checked by : Checker
Sheet Title : COMPOSITE ROOF PLAN

Project No. : 2024.019

Sheet No. : **A030**

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EXTERIOR FINISH SCHEDULE		
MASONRY	BR-1	BRICK MFG: ECHELON MASONRY - TRENWYTH MASONRY - TRATTINO COLOR: TRATTINO MW WHITE SIZE: PLAIN
	SF-1	STOREFRONT MFG: KAWNEER OR SIMILAR COLOR: CLEAR ANODIZED ALUMINUM SIZE: 2" X 4 1/2"
DOORS	DR-1	ALUMINUM ENTRANCE DOOR SYSTEM MFG: TBD STYLE: 2" X 4 1/2" COLOR: TO MATCH WINDOW FRAME WITH CLEAR GLASS
	DR-2	FULL GLASS ENTRANCE DOOR SYSTEM MFG: TBD STYLE: 2" X 4 1/2" COLOR: TO MATCH WINDOW FRAME WITH CLEAR GLASS
	DR-3	HOLLOW METAL DOOR MFG: STYLE: 2" X 4 1/2" COLOR: PAINT TO MATCH ADJACENT
GLASS	GL-1	FIXED PANEL ALL GLASS TO BE: 1", LOW-E, INSULATED GLASS MFR: TBD COLOR/STYLE: CLEAR
	GL-2	OPERABLE PANEL 1", LOW-E, INSULATED GLASS SIZE: 32"X32" MFR: TBD COLOR/STYLE: CLEAR
	GL-3	SPANDREL PANEL 1", LOW-E, INSULATED GLASS MFR: TBD COLOR/STYLE: CLEAR
MISC.	TR-1	TRIM & COPING: PREFINISHED ALUMINUM COLOR: MATCH ADJACENT MATERIALS
	CPS-1	OIKO SKIN CONCRETE PANELS MFG: REIDER COLOR: LIQUID BLACK - MATTE SIZE: 6" x 12'-0" PANELS
	CPS-2	OIKO SKIN CONCRETE PANELS MFG: REIDER COLOR: LIQUID BLACK - FERRO LIGHT SIZE: 6" x 12'-0" PANELS
	CPS-2	OIKO SKIN CONCRETE PANELS MFG: REIDER COLOR: LIQUID BLACK - FERRO SIZE: 6" x 12'-0" PANELS
	MTL-1	GALVANIZED STEEL MFG: ALUCOBOND OR APPROVED EQUAL COLOR: TBD
	BLC-1	PRE-FABRICATED WALL SUSPENSION HUNG BALCONY MFG: TBD COLOR: TBD



3 ELEVATION - WEST
A301 3/16" = 1'-0"



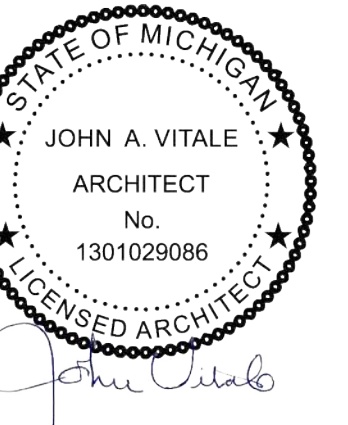
1 ELEVATION - NORTH
A301 3/16" = 1'-0"



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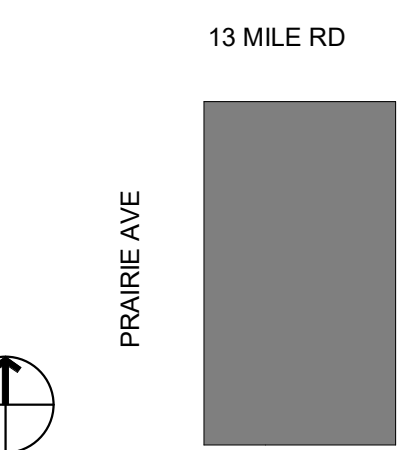
Seal:



Project :
13 STRATA, LLC.
MULTI-FAMILY

13 MILE AND PRAIRIE
AVE

Key Plan:



Issued for

Site Plan Approval	08.06.24
Conditional Zoning	09.24.24
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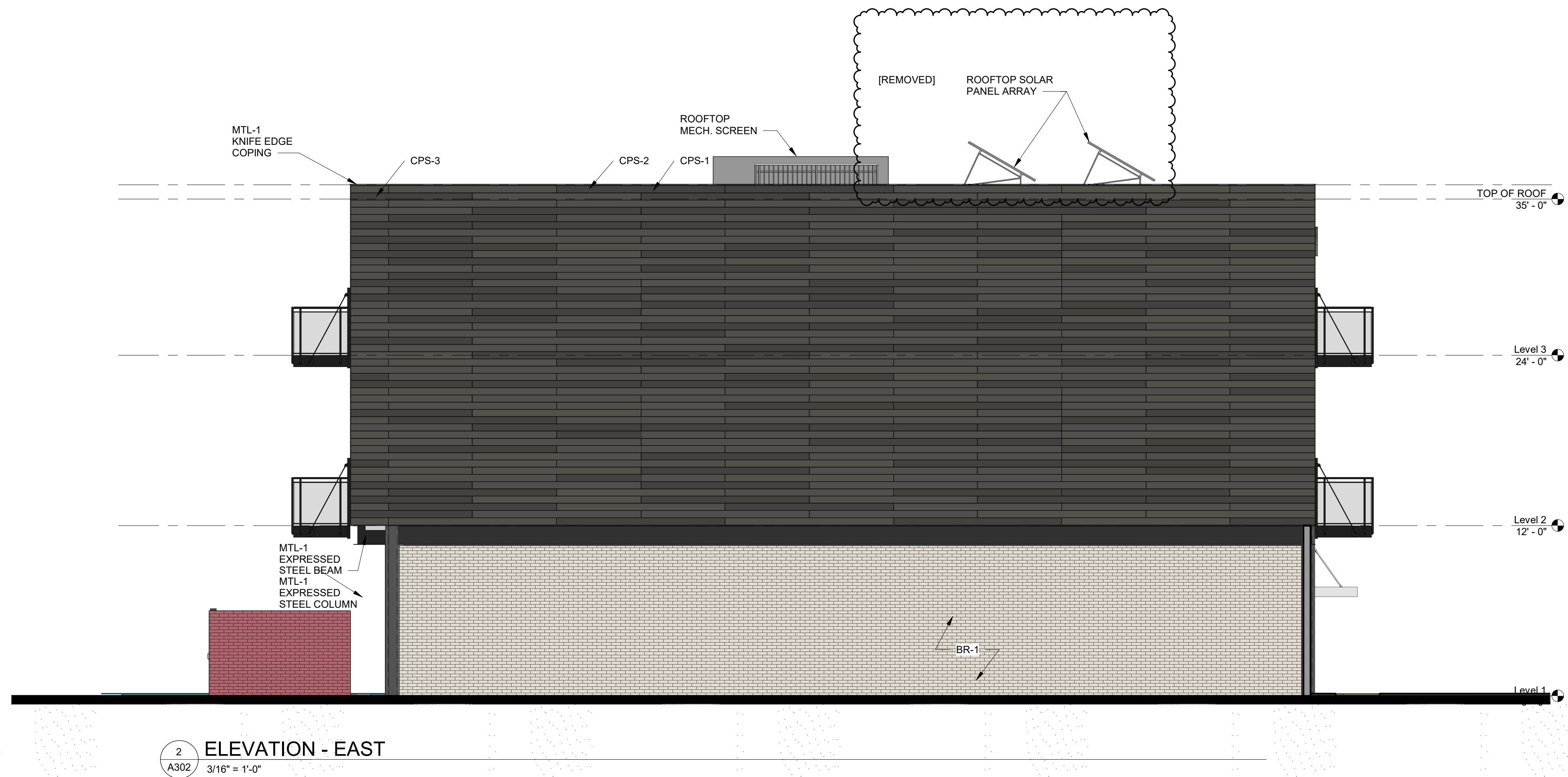
Drawn by :
JGB, JPM
Checked by :
JAV

Sheet Title :
EXTERIOR ELEVATIONS

Project No. :
2024.019

Sheet No. :
A301

EXTERIOR FINISH SCHEDULE		
MASONRY	BR-1	BRICK MFG: ECHELON MASONRY - TRENWYTH MASONRY - TRATTINO COLOR: TRATTINO MW WHITE SIZE: PLAIN
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	CPS-3	OIKO SKIN CONCRETE PANELS MFG: REIDER COLOR: LIQUID BLACK - FERRO SIZE: 6" x 12'-0" PANELS
	MTL-1	GALVANIZED STEEL MFG: ALUCOBOND OR APPROVED EQUAL COLOR: TBD
	BLC-1	PRE-FABRICATED WALL SUSPENSION HUNG BALCONY MFG: TBD COLOR: TBD

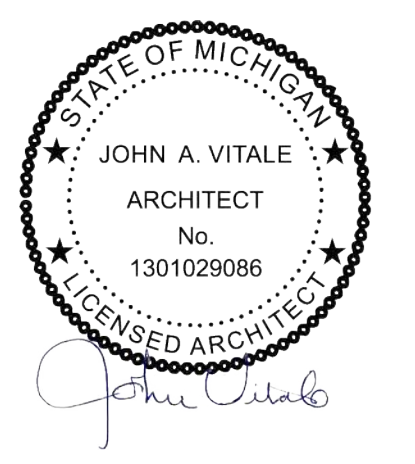


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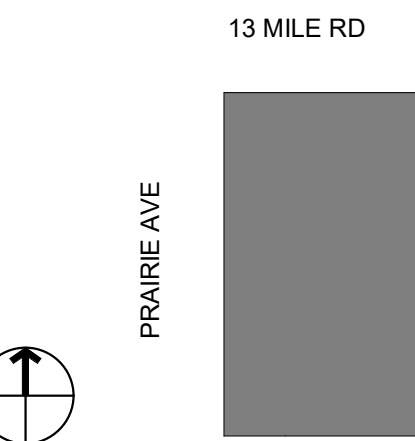
Seal:



Project :
13 STRATA, LLC.
MULTI-FAMILY

13 MILE AND PRAIRIE AVE

Key Plan:



Issued for	Date
Site Plan Approval	08.06.24
Conditional Zoning Review Response	09.24.24
Conditional Zoning Review Response	11.06.24
City Revision	12.30.24

Drawn by :
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Sheet Title :
EXTERIOR ELEVATIONS

Project No. :
2024.019

Sheet No. :
A302

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NORTHWEST CORNER ELEVATION



SOUTHWEST CORNER ELEVATION

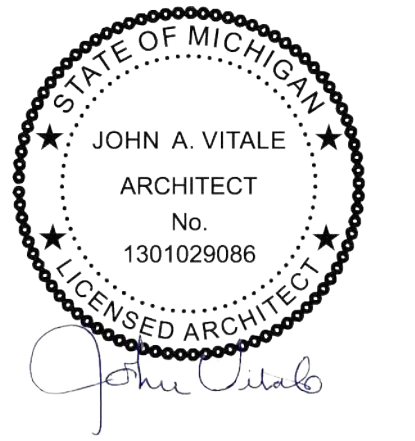


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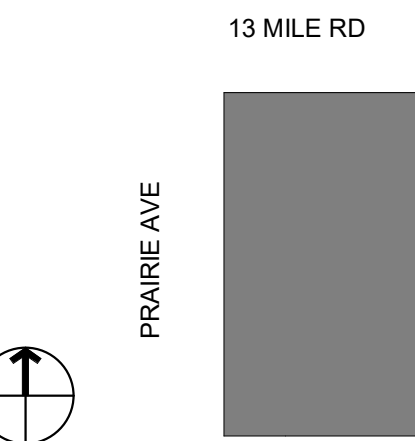
Seal:



Project :
 13 STRATA, LLC.
 MULTI-FAMILY

13 MILE AND PRAIRIE
 AVE

Key Plan:



Issued for

Site Plan Approval	08.06.24
Conditional Zoning Review Response	09.24.24
Conditional Zoning Review Response	11.06.24

Drawn by :
 JGB
 Checked by :
 Checker
 Sheet Title :
 EXTERIOR RENDERINGS

Project No. :
 2024.019

Sheet No. :
A311

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GENERAL SITEPLAN NOTES:

1. STORMWATER CALCULATIONS TO BE PROVIDED IN FUTURE ISSUANCES.
2. REFER TO SHEET C-2 FOR LANDSCAPE LOCATIONS
3. REFER TO SHEET C-1 FOR LIGHTING LOCATIONS

PARCEL DESCRIPTION:

PROPERTY ADDRESS: NO ADDRESS
 CURRENT ZONING: RB - RESIDENTIAL BUSINESS
 CURRENT USE: VACANT
 PROPOSED OWNER: STRATA, LLC
 PROPOSED ZONING: MF - MULTIPLE FAMILY
 PROPOSED USE: MULTIPLE FAMILY DWELLINGS
 LEGAL DESCRIPTION:
 PARCEL SIZE: 0.27 ACRES

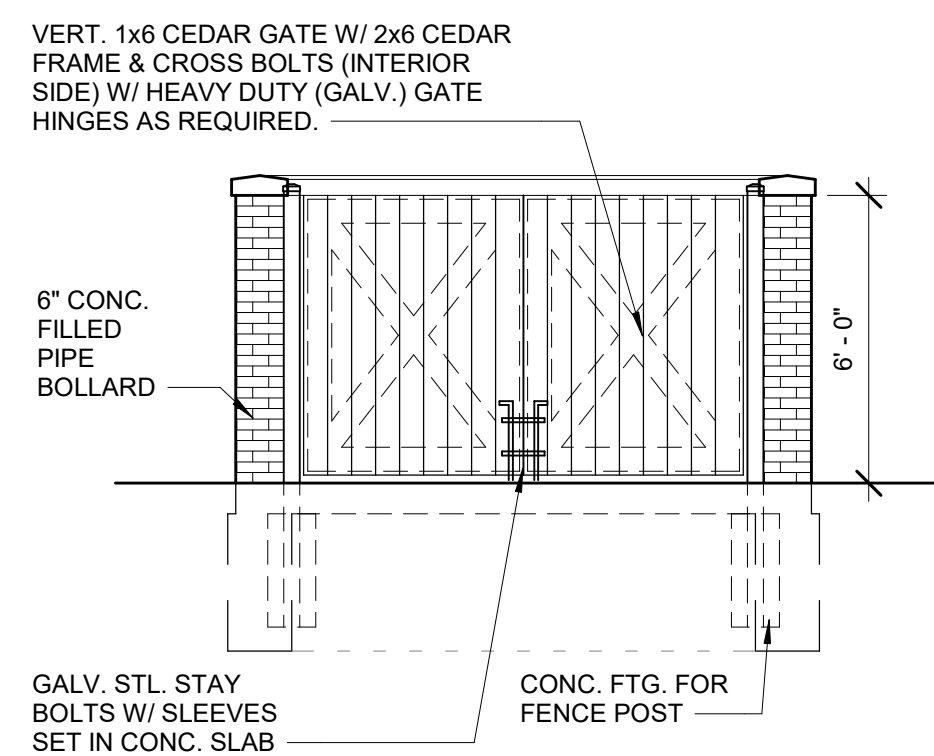
OFF-STREET PARKING REQUIREMENTS:

CODE SECTION	REQUIRED	PROPOSED
§ 770-107 OFF STREET PARKING REQUIREMENTS	RESIDENTIAL DWELLINGS, ONE-, TWO- AND MULTIPLE-FAMILY: 2 SPACES PER DWELLING UNIT TOTAL UNITS: 10 REQUIRED: 20 SPACES	RESIDENTIAL DWELLINGS, ON-, TWO- AND MULTIPLE-FAMILY: 2 SPACES PER DWELLING UNIT (10) PROPOSED: 20 (2)
§ 770-109 (F) OFF STREET PARKING LOT DESIGN AND CONSTRUCTION	90° PARKING DIMENSIONS: 9FTX20FT W/ 20' AISLE	9FTX20FT W/ 20' AISLE

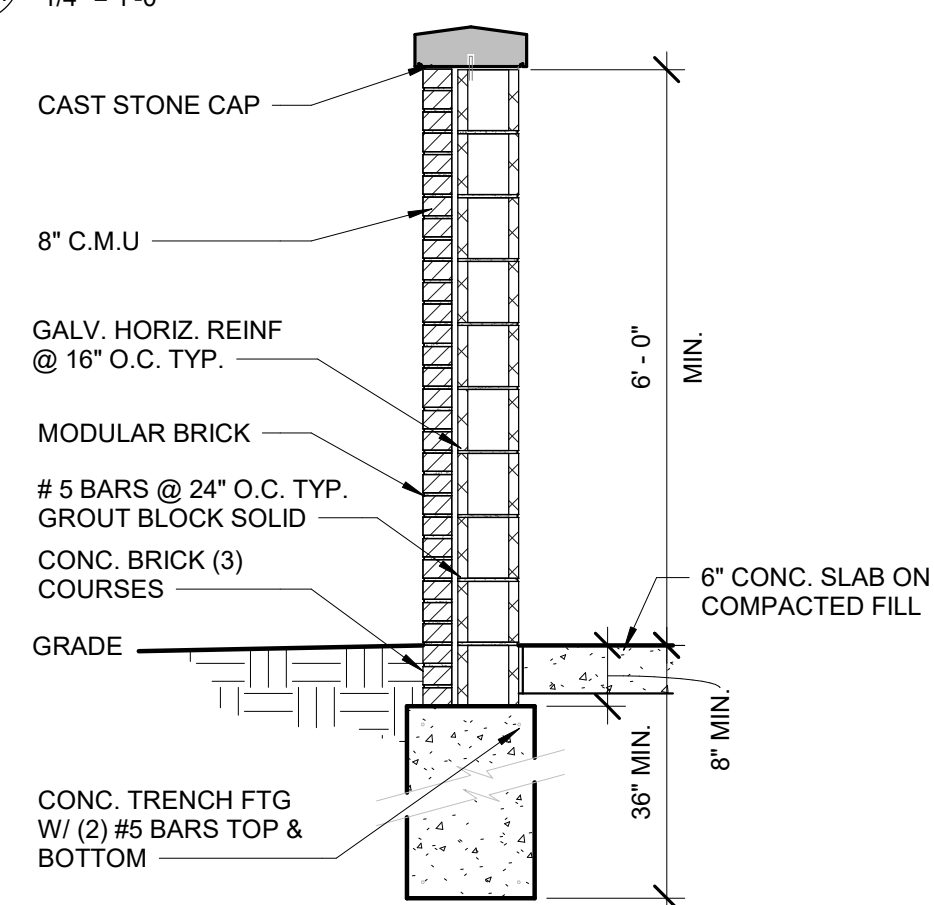
LAND USE AND ZONING:

PARCEL ID: 25-07-103-041
 ZONING: MF - MULTIPLE FAMILY
 PROPOSED USE: MULTIPLE FAMILY DWELLINGS

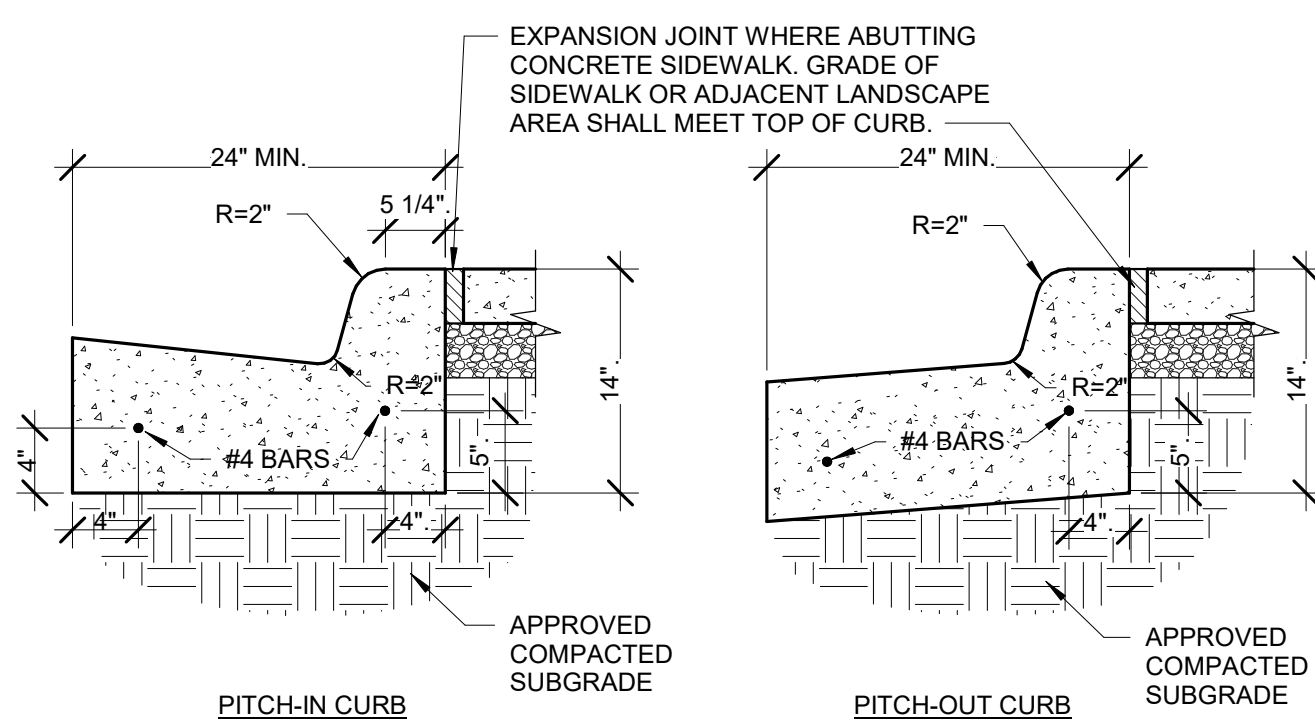
ZONING REQUIREMENT:	REQUIRED:	PROPOSED:
MINIMUM LOT SIZE & DENSITY (§ 770-37 D (3)(a))	39,000 (9,000 SF FIRST TWO DWELLINGS, 3,000 SF FOR REMAINING)	11,548 (VARIANCE REQ.)
MAXIMUM BUILDING HEIGHT (§ 770-37)	MAX HEIGHT: 36'	36'
MIN. FRONT YARD SETBACK (§ 770-37)	25'	25'
MIN. SIDE YARD SETBACK (WEST) (§ 770-37)	25'	39'9"
MIN. SIDE YARD SETBACK (EAST) (§ 770-37)	25'	2' (VARIANCE REQ.)
MIN. REAR YARD SETBACK (§ 770-37)	25'	18' (VARIANCE REQ.)
MIN. SIDE YARD PARKING SETBACK (§ 770-37)	25'	3' (VARIANCE REQ.)



2 AS001 **Dumpster Screening Detail**
1/4" = 1'-0"

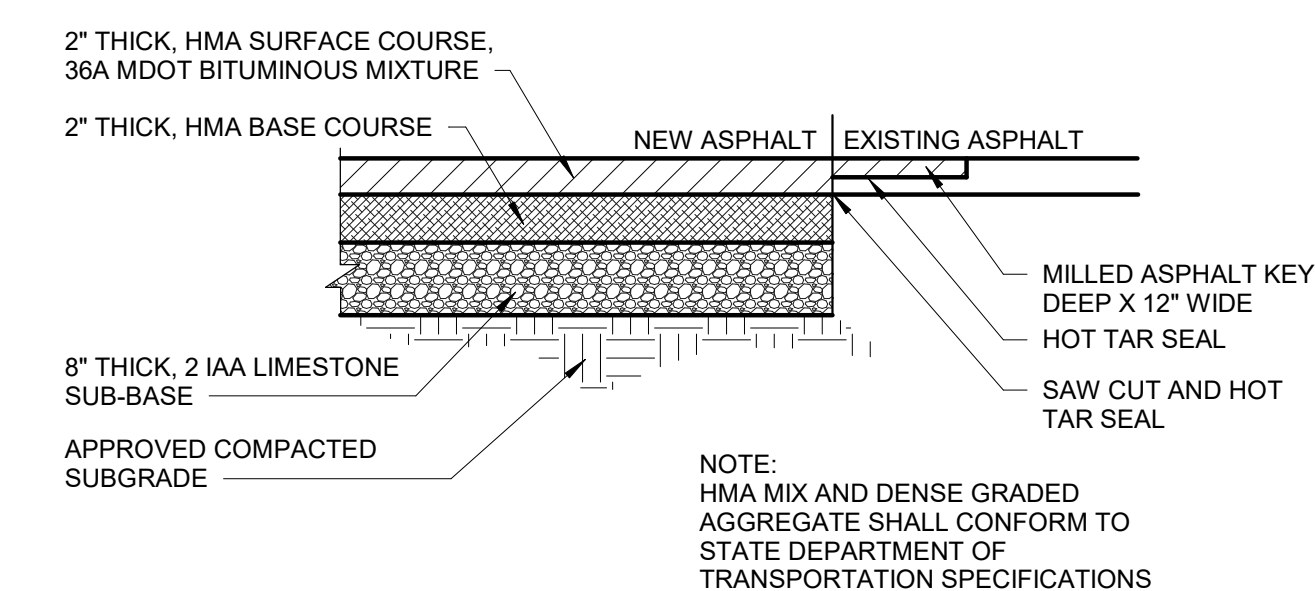


3 AS001 **Section At Dumpster Screen**
1/2" = 1'-0"

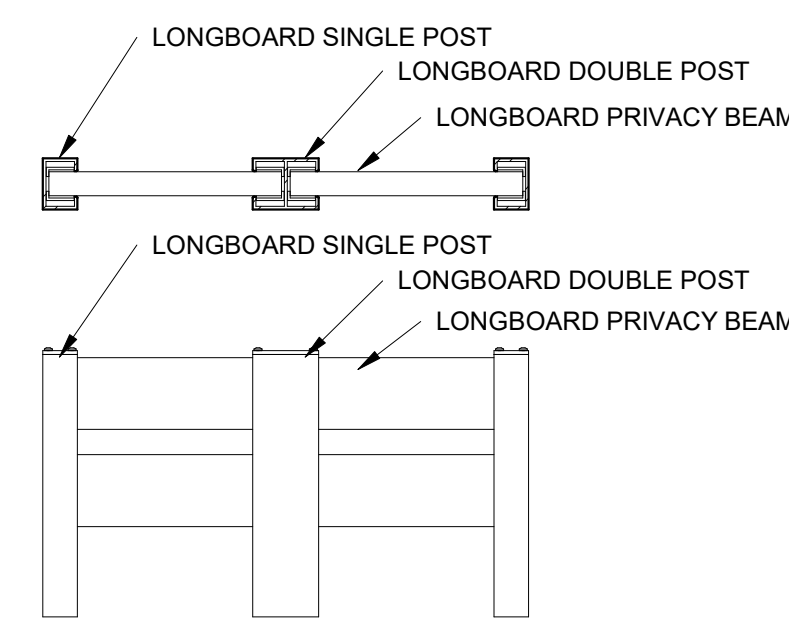


- NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS JOINT FILLER, RECESSED 1/4" FROM SURFACE.
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 14" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

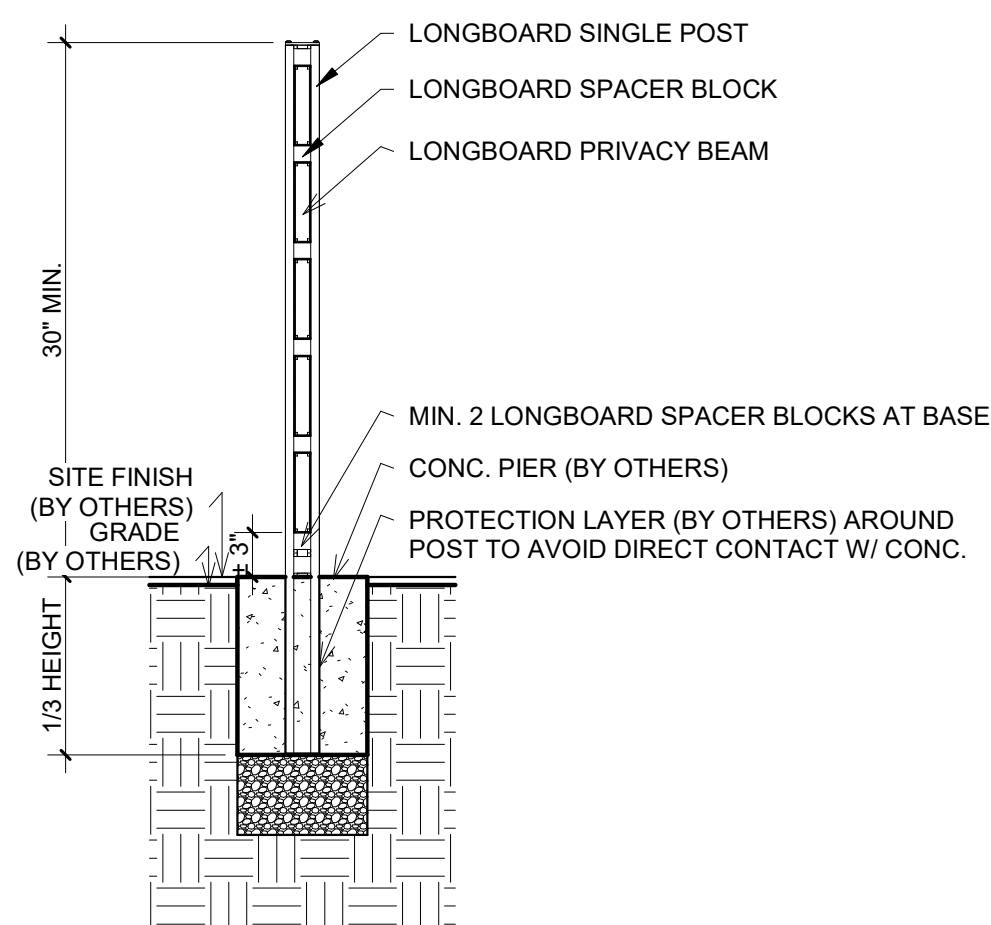
4 AS001 **concrete curb and gutter detail**
1" = 1'-0"



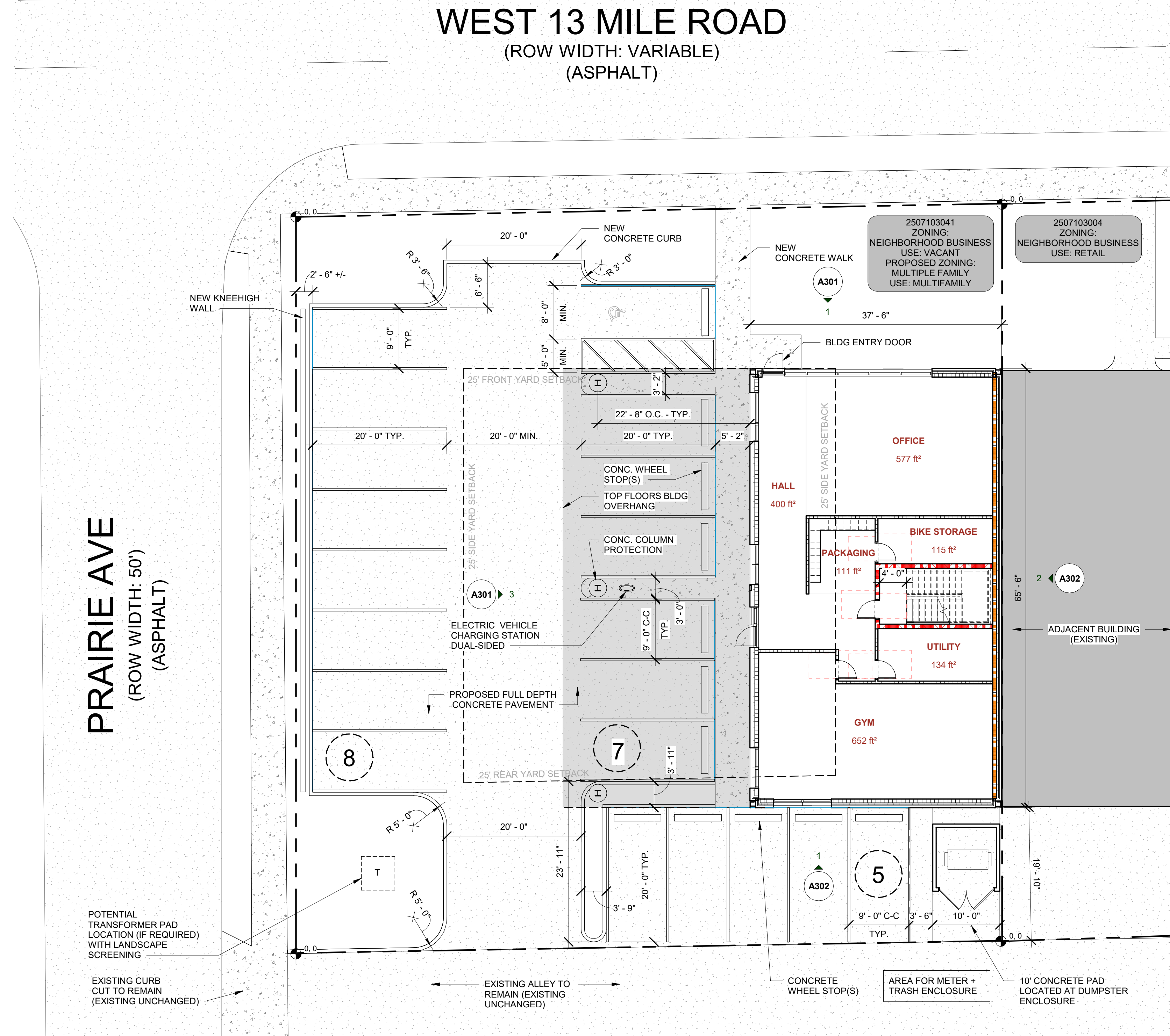
5 AS001 **ON-SITE FULL DEPTH ASPHALT PAVEMENT DETAIL**
1" = 1'-0"



6 AS001 **KNEEWALL PROFILE**
1 1/2" = 1'-0"



7 AS001 **KNEEWALL SECTION**
1" = 1'-0"



ARCHITECTURAL SITE PLAN
1" = 10'-0"

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 Consultants

Seal:

 Project:
 13 STRATA, LLC.
 MULTI-FAMILY
 13 MILE AND PRAIRIE AVE

Key Plan:

 Issued for:
 Site Plan Approval 08.06.24
 Conditional Zoning 09.24.24
 Review Response
 Conditional Zoning 11.06.24
 Review Response

Drawn by:
 JB, JPM
 Checked by:
 JAV
 Sheet Title:
 ARCHITECTURAL SITE PLAN
 Project No.:
 2024.019
 Sheet No.:
AS001

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EXHIBIT C

Planning Commission Resolution



MEMORANDUM

DATE: October 10, 2024

TO: File / Petitioner(s)

FROM: Planning Division

SUBJECT: Conditional Rezoning from Neighborhood Business to Multiple-Family Residential & Site Plan (SP 24-10-11) at southeast corner of W. 13 Mile Rd. & Prairie Ave. (parcel no. 25-07-103-041) – Construction of three-story multiple-family building with 10 dwellings.
Stucky Vitale Architects, Inc., Petitioner & Architect
AL Construction, Owner

The Royal Oak Planning Commission, at its meeting on October 8, 2024, took the following action regarding your conditional zoning application:

Moved by Commissioner Douglas

Seconded by Mr. Ellison

Be it resolved that the request to conditionally rezone the **southeast corner of West 13 Mile Road and Prairie Avenue** (parcel no. 25-07-103-041) from **Neighborhood Business** to **Multiple-Family Residential** in order to construct a three-story multiple-family building with 10 dwellings is hereby referred to the City Commission with a **recommendation for approval**, based upon the following:

- 1) Although the requested Multiple-Family Residential zone is not consistent with the property's designation as General Commercial on the Master Plan's future land use map, conditions as determined by the Planning Commission have changed since adoption of the Master Plan including the need for more housing on smaller lots in commercial corridors.
- 2) The site's physical characteristics are more compatible with multiple-family dwellings than other commercial uses allowed under the current Neighborhood Business zoning.
- 3) The site's size precludes the petitioner from receiving a reasonable return on investment through developing the property with a permitted or special land use allowed under the current Neighborhood Business zoning that can meet required Zoning Ordinance standards. Further, multiple-family dwellings are an allowed use within the current Neighborhood Business zoning on upper levels of a building when the ground level street frontage is a permitted use other than off-street parking.

- 4) The proposed multiple-family building is compatible with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, traffic volumes, aesthetics, infrastructure, and potential influence on property values.

Be it further resolved that SP 24-10-11, a site plan at the southeast corner of W. 13 Mile Rd. & Prairie Ave. (parcel no. 25-07-103-041) to construct a three-story multiple-family building with 10 dwellings is hereby referred to the City Commission with a **recommendation for approval** with the following **contingencies**:

- 1) A conditional zoning agreement between the petitioner and the city shall be submitted for review by the city attorney prior to approval by the City Commission, specifying all conditions voluntarily offered by the petitioner.
- 2) Prior to review of the conditional zoning agreement by the City Commission, the petitioner shall submit a revised site plan containing all required information for review and approval by the planning division including the following:
 - a) The accessory off-street parking lot on parcel 25-07-103-049 shall be removed from all plan sheets.
 - b) The north front yard setback for the second level of the building at its northwest corner shall be specified in the same manner as other setbacks.
 - c) The size of the waste receptacle enclosure shall be consistent on all plan sheets.
 - d) The number of off-street parking spaces at the rear of the building shall be consistent on all plan sheets.
- 3) The site plan shall comply with the Zoning Ordinance (Chapter 770), as well as all other applicable codes and ordinances, except for the following:
 - a) No more than 10 multiple-family dwelling shall be permitted.
 - b) Building setbacks of less than 25 feet shall be permitted as depicted on the plan sheets.
 - c) The ground level street frontage along West 13 Mile Road and Prairie Avenue may be off-street parking as depicted on the plan sheets.
 - d) Landscaping, screening, and open spaces shall be as depicted on the plan sheets.
 - e) Vehicular access to off-street parking spaces shall be as depicted on the plan sheets.
 - f) The depth of off-street parking spaces at the rear of the building shall be as depicted on the plan sheets.
- 4) All paving, utilities, and work within public rights-of-way shall be in accordance with the specifications and standards of the city engineer, including pavement for the public alley.
- 5) Any exterior lighting fixtures shall comply with § 770-96 B of the Zoning Ordinance and other city codes and ordinances, including being directed downward and shielded so as not to shine on adjacent property, and within maximum permitted fixture heights and illumination levels.
- 6) Signage shall comply with the Sign Ordinance (Chapter 607) or receive necessary variances from the Planning Commission.

- 7) A performance bond shall be posted in an amount to be determined by the building official.
- 8) The site plan shall meet all other code and ordinance requirements, as determined by the building official, fire marshal, and city engineer, including, but not limited to, the Michigan Building Code, the City's Fire Prevention Ordinance (Chapter 340), and the City's Stormwater Detention Ordinance (Chapter 644), prior to the issuance of any building or right-of-way permits.

Motion adopted 4 to 2.

Yes: Commissioner Douglas, Mr. Ellison, Mayor Fournier, Mr. Quesada.

No: Mr. Esbri, Mr. Gontina.

The Planning Commission's recommendation will be forwarded to the City Commission for their consideration at a future meeting. Prior to scheduling your application for a meeting of the City Commission you will need to submit PDF copies of the revised sets of plans addressing all contingencies approved by the Planning Commission.

We are currently drafting a conditional zoning agreement for your application, copies of which will be sent to you for review and execution once it is completed.

The application will not be submitted to the City Commission for first reading until all contingencies of the Planning Commission have been addressed and included within revised sets of plans, and the planning division confirms those plans comply with the approved contingencies. A second reading with the City Commission will not be scheduled until executed copies of the conditional zoning agreement are submitted.

Please contact us if you have any questions or need further information.

Respectfully,



Timothy E. Thwing
Director of Community Development

cc: John A. Vitale, AIA, NCARB, Stucky-Vitale Architects, Inc.
Adrian Qeraj, AL Construction